

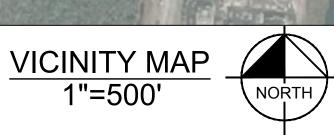
CONSTRUCTION DRAWINGS FOR: MAYFAIRE SELF DEV.

1035 INTERNATIONAL DRIVE WILMINGTON, NORTH CAROLINA 28405

A DEVELOPMENT BY: CBL PROPERTIES

2030 HAMILTON PLACE BOULEVARD SUITE 500 CHATTANOOGA, TN 37421





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PHONE: 919-677-2000 FAX: 919-677-2050
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DATE

10/31/2019

ALE AS SHOWN
SIGNED BY DS

SCALE AS
DESIGNED BY
DRAWN BY

OVER SHEET

MAYFAIRE SELF DE\
PREPARED FOR
CBL PROPERTIES

SHEET NUMBER

C0.0

CO.1 GENERAL NOTES EXISTING CONDITIONS AND DEMOLITION PLANS C1.0 C2.0 CONTEXTUAL & SITE INVENTORY PLAN C2.1 SITE PLAN GRADING, UTILITY, AND EROS. CONTROL PLAN C3.0 SITE DETAILS C4.0 SITE DETAILS C4.1 C5.0 UTILITY DETAILS C5.1

Sheet Number

CO.0

SD1

SK-1

C5.1 UTILITY DETAILS
C6.0 EROSION CONTROL DETAILS
C6.1 EROSION CONTROL DETAILS
L1.0 LANDSCAPE PLAN
L2.0 LANDSCAPE DETAILS
LT1.0 LIGHTING PLAN

Sheet List Table

Sheet Title

COVER SHEET

ARCHITECTURAL CONCEPT 1

ARCHITECTURAL CONCEPT

DUMPSTER DETAILS

CONTACTS

OWNER,

CBL PROPERTIES
2030 HAMILTON STREET, SUITE 500
CHATTANOOGA, TN 37421
PHONE: (423) 855-0001
ATTN.: JEFF ALLEN

ARCHITECT:

CLINE DESIGN
125 NORTH HARRINGTON STREET
RALEIGH, NC 27603
PHONE: (919) 833-6413

ATTN.: BRETT POWELL

CIVIL ENGINEER:

KIMLEY-HORN AND ASSOCIATES, INC. 421 FAYETTEVILLE STREET, SUITE 600 RALEIGH, NORTH CAROLINA 27601 PHONE: (919) 653-2927 ATTN.: JORDAN BREWER, PE JORDAN.BREWER@KIMLEY-HORN.COM

SURVEYOR

GSC SURVEYING 4072 BARRETT DRIVE RALEIGH, NC 27609 PHONE: 919-787-5805 ATTN: CHARLES H. SMITH, LS, PLS REVISION NARRATIVE:

REVISION NUMBER 5 HAS RELOCATED THE DUMPSTER ENCLOSURE TO THE WESTERN PARKING LOT EDGE TO ACCOMMODATE A REQUEST FROM THE CLIENT. NO ADDITIONAL LAND DISTURBANCE IS PROPOSED AS PART OF THIS CHANGE AS THE DISTURBED AREA HAS MOVED LOCATIONS. THE SHEETS IMPACTED BY THIS CHANGE ARE AS FOLLOWS:

1. CO.O - COVER SHEET

C1.0 - EXISTING CONDITIONS AND DEMOLITION PLANS
 C2.1 - SITE PLAN
 C3.0 - GRADING, UTILITY, AND EROS. CONTROL PLAN

5. L1.0 — LANDSCAPE PLAN
6. L2.0 — LANDSCAPE DETAILS

IN ADDITION A NEW SHEET SK-1 — DUMPSTER DETAILS HAS BEEN ADDED THAT INCORPORATES THE DUMPSTER PAD AND SCREENING WALL DESIGN FROM CLINE DESIGN LOCATED AT 125 N. HARRINGTON ST. RALEIGH, NORTH CAROLINA 27603. PHONE: (919) 833-6413.

	IV CITY OF
Approved Construction Plan	WILMINGTON
<u>Name</u> <u>Date</u>	NORTH CAROLINA
Planning	Public Services • Engineering Division APPROVED DRAINAGE PLAN
Traffic	
Fire	Date: Permit #
rire	Signed:

GENERAL NOTES:

- 1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR PRECISE BUILDING DIMENSIONS, BUILDING UTILITY ENTRANCE LOCATIONS, AND EXACT LOCATIONS AND DIMENSIONS OF EXIT PORCHES, RAMPS, DOWNSPOUTS, GRAVEL AREAS ADJACENT TO BUILDING WALLS, UTILITY ENTRANCE LOCATIONS AND BOLLARDS IN BUILDING SIDEWALKS. ANY DISCREPANCIES FOUND BETWEEN THE BUILDING AND CIVIL PLANS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- 2. ACCESSIBLE PARKING SIGNS WITH A "VAN" MARKING SHALL HAVE ADDITIONAL SIGN MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY SIGN DENOTING VAN ACCESSIBILITY; REFER TO CONSTRUCTION DETAIL SHEETS.
- REFER TO CONSTRUCTION DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
- 4. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- 5. ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED UNLESS OTHERWISE INDICATED.
- SURVEY TITLED "TOPOGRAPHIC SURVEY OF 1035 INTERNATIONAL DRIVE" BY GSC SURVEYING, DATED MAY 22, 2019 4070 BARRETT DRIVE, RALEIGH, NC 27609, 919-787-580.
- THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE STATE DEPT. OF TRANSPORTATION, NCDOT AND CITY OF WILMINGTON INSPECTIONS.
- 8. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING
- 9. THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE.
- 10. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
- 11. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF THE NCDOT AND CITY OF WILMINGTON.
- 12. COORDINATE ALL CURB AND STREET GRADES IN INTERSECTIONS WITH INSPECTOR.
- 13. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR
- 14. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
- 15. THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH THE NC DEPARTMENT OF TRANSPORTATION STANDARDS MANUAL (LATEST REVISIONS FOR ACCESSIBLE RAMP
- 16. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT NCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CITY OF WILMINGTON STANDARD SPECIFICATIONS AND DETAILS.
- 17. ALL WORK MUST COMPLY WITH CHAPTER 11 OF THE NORTH CAROLINA STATE BUILDING AND HANDICAPPED
- 18. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
- 19. TYPE OF CONSTRUCTION OF BUILDING ACCORDING TO THE INTERNATIONAL BUILDING CODE MUST BE
- 20. IN ADDITION TO THE STANDARD COMMENTS, ADDITIONAL FIRE PROTECTION AND ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
- 21. CONTACT TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT OF WAY.

CITY OF WILMINGTON NOTES

- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING SHALL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES. NO CONSTRUCTION WORKERS, TOOLS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO ENSURE THAT NO CLEARING, GRADING OR STAGING OF MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING AND SILT FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING REGARDING THE INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO ENSURE THAT ALL TRAFFIC SIGNAL FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN.
- 8. CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 9. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRIPING.
- 10. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
- 11. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE
- 12. STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- 13. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- 14. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
- 15. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED. 16. CONTACT TRAFFIC ENGINEERING AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 17. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
- 18. PROJECT SHALL COMPLY WITH CFPUA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL 910-343-3910 FOR INFORMATION.
- 19. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPERS'S SIDE OF THE WATER METER BOX.
- 20. ANY IRRIGATION SYSTEM SUPPLIED BY CFPUA WATER SHALL COMPLY WITH THE CFPUA CROSS CONNECTION CONTROL REGULATIONS. CALL 919-343-3910 FOR INFORMATION.
- 21. ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- 22. ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPUA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USCFCCCHR OR ASSE.
- 23. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- 24. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING
- 25. UNDERGROUND FIRE LINE(S) MUST BE PERMITTED AND INSPECTED BY THE WILMINGTON FIRE DEPARTMENT FROM THE PUBLIC RIGHT-OF-WAY TO THE BUILDING. CONTACT THE WILMINGTON FIRE DEPARTMENT DIVISION OF FIRE AND LIFE SAFETY AT 910-341-0696.
- 26. NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- 27. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING. OR GRADING.

TRAFFIC CONTROL

REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION) FOR DETAILS OF STANDARD TRAFFIC CONTROL SIGNS AND STANDARDS.

UTILITY NOTES:

- 1. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- 2. CONTRACTOR SHALL NOTIFY THE CITY OF WILMINGTON UTILITY INSPECTORS 72-HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- 3. SANITARY SEWER PIPE SHALL BE AS FOLLOWS:
 - 8" PVC SDR35 PER ASTM D 3034, FOR PIPES LESS THAN 12' DEEP 8" PVC SDR26 PER ASTM D 3034, FOR PIPES MORE THAN 12' DEEP 6" PVC SCHEDULE 40 4" PVC SCHEDULE 40
 - DUCTILE IRON PIPE PER AWWA C150 AND AWWA C151
- 4. WATER LINES SHALL BE AS FOLLOWS:
 - 4" AND LARGER DUCTILE IRON PIPE PER AWWA C150
- SMALLER THAN 4" TYPE K COPPER TUBE

5. MINIMUM TRENCH WIDTH SHALL BE 2 FEET.

- 6. ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING AS CALLED OUT ON UTILITY
- 7. WATER AND SEWER MAINS SHALL BE KEPT TEN (10') APART (PARALLEL) OR WHEN CROSSING 18" VERTICAL CLEARANCE (OUTSIDE EDGE OF PIPE TO OUTSIDE EDGE OF PIPE).
- 8. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3.0' COVER ON ALL WATERLINES.
- 9. IN THE EVENT OF A VERTICAL CONFLICT BETWEEN WATERLINES, SANITARY LINES, STORM LINES AND GAS LINES (EXISTING AND PROPOSED), THE SANITARY LINE SHALL BE DUCTILE IRON PIPE WITH MECHANICAL JOINTS AT LEAST 10 FEET ON BOTH SIDES OF CROSSING, THE WATERLINE SHALL HAVE MECHANICAL JOINTS WITH APPROPRIATE THRUST BLOCKING, MEETING REQUIREMENTS OF ANSI A21.10 OR ANSI 21.11 (AWWA
- 10. LINES UNDERGROUND SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- 11. ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000
- 12. THE CITY OF WILMINGTON HAS THE RIGHT TO INSPECT ALL PRIVATE WATER SYSTEMS
- 13. DRAWINGS DO NOT CLAIM TO SHOW ALL EXISTING UTILITIES.
- 14. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- 15. REFER TO ARCHITECTURAL DRAWINGS FOR TIE-IN LOCATION AND ELEVATION OF ALL UTILITIES.
- 16. CONTRACTOR IS RESPONSIBLE FOR COMPLYING TO THE SPECIFICATIONS OF THE CITY OF WILMINGTON UTILITY DEPARTMENT WITH REGARDS TO MATERIALS, INSTALLATION, AND TESTING OF THE WATER AND
- 17. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- 18. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES CHARTED OR UNCHARTED WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 19. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS AND/OR TESTING REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE
- 20. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- 21. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE.
- 22. ALL EXISTING UTILITIES PROPOSED TO BE RELOCATED ON THESE PLANS SHALL BE PLACED UNDERGROUND.
- 23. ALL SANITARY SEWER AND WATER DISTRIBUTION SYSTEM WORK TO BE INSTALLED BY A LICENSED UTILITY
- 24. THE CONTRACTOR SHALL COORDINATE AS REQUIRED WITH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) FOR INSTALLATION OF PRIMARY ELECTRIC SERVICE AND TELEPHONE SERVICE TO THE PROPOSED BUILDINGS.
- 25. WHEN A WATER MAIN CROSSES OVER A SEWER MAIN, THERE MUST BE EIGHTEEN INCHES OF VERTICAL SEPARATION. IF THE WATER MAIN MUST GO UNDER THE SEWER MAIN, BOTH THESE LINES MUST BE OF DUCTILE IRON FOR A DISTANCE OF TEN FEET ON EITHER SIDE OF THE CROSSING WITH A TWELVE INCH VERTICAL SEPARATION. THE CROSSING OF OTHER UNDERGROUND PIPE REQUIRES A MINIMUM OF TWELVE INCHES OF VERTICAL SEPARATION. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE
- 26. WHEN A WATER LINE PASSES OVER OR UNDER A STORM SEWER, VERTICAL SEPARATION OF 18 INCHES SHALL BE MAINTAINED UNLESS WATER LINES ARE OF DUCTILE IRON OR ENCASED IN CONCRETE. A MINIMUM 6" CONCRETE PAD SHALL BE POURED BETWEEN THE TWO. DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
- 27. A FIRE INSPECTOR SHALL INSPECT THE UNDERGROUND FIRE LINE PIPING FROM THE PIV TO THE BUILDING. FOR YARD FIRE DEPARTMENT CONNECTIONS (FDCS), THE UNDERGROUND FDC PIPING MUST BE INSPECTED BEFORE IT IS COVERED UP.

BACKFLOW PREVENTION NOTES:

- 1. THERE SHALL BE NO TAPS, PIPING BRANCHES, UNAPPROVED BYPASS PIPING, HYDRANTS, FIRE DEPARTMENT CONNECTION POINTS OR OTHER WATER-USING APPURTENANCES CONNECTED TO THE SUPPLY LINE BETWEEN ANY WATER METER AND ITS CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) UTILITIES DEPARTMENT REQUIRED BACKFLOW PREVENTER.
- 2. EACH CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) UTILITY DEPARTMENT REQUIRED BACKFLOW PREVENTER ASSEMBLY IS REQUIRED TO BE TESTED BY AN APPROVED CERTIFIED TESTER PRIOR TO PLACING THE WATER SYSTEM INTO SERVICE.
- THE DOMESTIC BACKFLOW PREVENTER SHALL BE INSTALLED PER THE CITY OF WILMINGTON REGULATIONS AT THE PROPERTY LINE AND AS SHOWN IN THE LOCATION OF THE UTILITY PLAN.

FINE GRADING NOTES

- 1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
- 2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
- 3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
- 4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

DEMOLITION NOTES:

CONSTRUCTION SITE.

- 1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF ACCESS AND UTILITIES
- 2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
- 3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
- 4. WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
- 5. ALL SANITARY SEWER MAIN FEATURES WILL GENERALLY BE PROTECTED IN PLACE UNLESS SPECIFICALLY
- 6. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE

EROSION CONTROL NOTES:

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF WILMINGTON AND NC DEPARTMENT OF TRANSPORTATION REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- 2. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES. SPOT ELEVATIONS AT CURB AND
- GUTTER LOCATIONS ARE GUTTER ELEVATIONS AT FACE OF CURB, UNLESS OTHERWISE NOTED. 3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL
- CONTRACTOR PRIOR TO GROUND BREAKING. 4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
- CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
- 7. ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
- LIMITS, OR OTHER GRADING REQUIREMENTS. 9. THE PROPOSED CONTOURS SHOWN IN DRIVES AND PARKING LOTS AND SIDEWALKS ARE FINISHED ELEVATIONS INCLUDING ASPHALT. REFER TO PAVEMENT CROSS SECTION DATA TO ESTABLISH CORRECT

8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE

- SUBBASE OR AGGREGATE BASE COURSE ELEVATIONS TO BE COMPLETED UNDER THIS CONTRACT. 10. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY GRAVITY FLOW ACROSS
- 11. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED
- A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
- 12. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.

NEW PAVEMENT AREAS TO NEW OR EXISTING DRAINAGE INLETS OR SHEET OVERLAND.

- 13. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS
- 14. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
- 15. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS

16. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

- 17. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING. SHORING. BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
- 18. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DEWATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS AS AN ALTERNATE ALLOWANCE.
- 19. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS, DOOR LOCATIONS AND EXACT UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
- 20. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
- 21. ALL FOUNDATION AND UTILITY EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNIAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNDESIRABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
- 22. GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE. AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS. STATIONS, OFFSETS AND ELEVATIONS REFER TO THE CENTER OF DROP INLETS, MANHOLES AND JUNCTION BOXES, AND THE MIDPOINT OF THE LIP FOR CATCH BASINS.
- 23. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- 24. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- 25. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
- 26. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- 27. ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL INSTALL PER MANUFACTURER'S INSTRUCTIONS.
- 28. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.

- 1. STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:
 - 15" DIAMETER AND LARGER: RCP, CLASS III PER ASTM C-76, WITH FLEXIBLE PLASTIC BITUMEN GASKETS AT JOINTS.
 - LESS THAN 15" DIAMETER: PVC SCHEDULE 40 OR HDPE AASHTO DESIGNATION M252 TYPE S, M294 TYPE S AND MP7-97 TYPE S, SMOOTH INTERIOR/AMMULAR EXTERIOR. ONLY PERMITTED WHEN SPECIFICALLY INDICATED ON THE CONSTRUCTION DRAWINGS. PIPE SHALL BE INSTALLED IN ACCORDANCE WITH PIPE MANUFACTURER'S INSTALLATION GUIDELINES OR NCDOT SPECIFICATION. WHICHEVER IS MORE STRINGENT. PIPE JOINTS AND FITTINGS SHALL CONFORM TO AASHTO M252 AND
- 2. ALL STORM DRAINAGE WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE CLASS III REINFORCED CONCRETE PIPE
- UNLESS OTHERWISE SPECIFIED AS CLASS IV.
- 3. ALL PIPE LENGTHS AND SLOPES ARE APPROXIMATE.
- 4. ALL PIPES SHALL BE LAID ON STRAIGHT ALIGNMENTS AND EVEN GRADES USING A PIPE LASER OR OTHER ACCURATE METHOD 5. ADDITIONAL SUBSURFACE DRAINAGE MAY RE REQUIRED IN THE STREET RIGHT-OF-WAY IF DEEMED
- NECESSARY BY THE INSPECTOR. 6. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN
- ADDITION TO OTHER APPLICABLE CRITERIA:
- A. NO MORE THAN 500 LF OF TRENCH MAY BE OPENED AT ONE TIME.
- B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES. C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER
- THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY. D. MATERIAL USED FOR BACK-FILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
- E. DESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE EROSION AND SEDIMENT
- CONTROL REGULATIONS. F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
- 7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- 8. ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- 10. PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION. CATCH BASINS, MANHOLES, FRAMES, GRATES, ETC. SHALL MEET THE REQUIREMENTS OF THE LATEST EDITION OF THE NC DEPARTMENT OF

9. ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO

- TRANSPORTATION STANDARD DETAILS AND SPECIFICATIONS 11. THIS PLAN DETAILS PIPES UP TO 5FT FROM THE BUILDING FACE. REFER TO DRAWINGS BY OTHERS FOR
- BUILDING CONNECTIONS. CONTRACTOR SHALL SUPPLY AND INSTALL PIPE ADAPTERS AS NECESSARY. 12. ALL STORM SEWER MANHOLES IN PAVED AND UNPAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. LIDS SHALL BE LABELED "STORM SEWER".

13. STRUCTURE TOP ELEVATIONS SHOWN HERE IN ARE APPROXIMATE. CONTRACTOR SHALL ADJUST AS

14. RIM ELEVATIONS AS SHOWN ON THE CONSTRUCTION DRAWINGS ARE TO THE GUTTER FLOW LINE.

- 1. CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
- 2. CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS FROM THE <u>NEW HANOVER COUNTY EROSION</u> AND SEDIMENT CONTROL
- 3. GROUND COVER SHALL BE ESTABLISHED PER "SEEDBED PREPARATION NOTES" PROVIDED IN THE EROSION CONTROL DETAILS.
- 4. THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 15 WORKING DAYS OR 90 CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING COMPLETION OF CONSTRUCTION.
- 5. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
- 6. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
- 7. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT
- ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE <u>CITY OF WILMINGTON INSPECTIONS DEPARTMENT.</u> TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
- 9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NEW HANOVER COUNTY EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.
- 10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE
- 11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.

PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.

- 12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEEDED, TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE NEW HANOVER COUNTY SEDIMENT CONTROL REGULATIONS. PERMANENT SEEDING AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND
- 13. CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS
- PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION. 15. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES

SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE

14. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN

16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.

17. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND

REE PROTECTION NOTES:

METHOD OF CLEANING.

DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.

BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

- THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO
- 2. WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
- 3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL

WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.

Approved Construction Plan

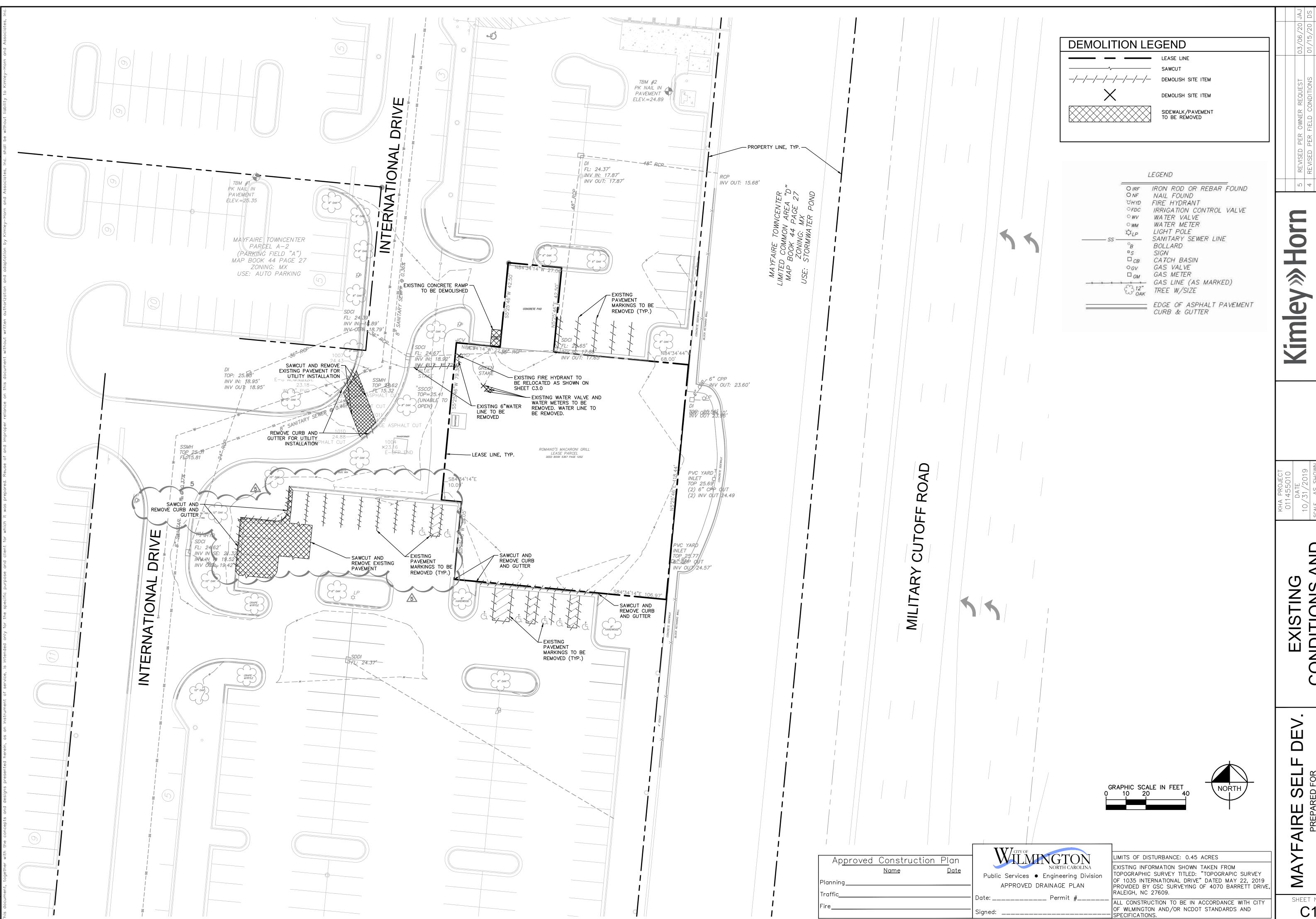
<u>Name</u>

4. NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT

5. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION

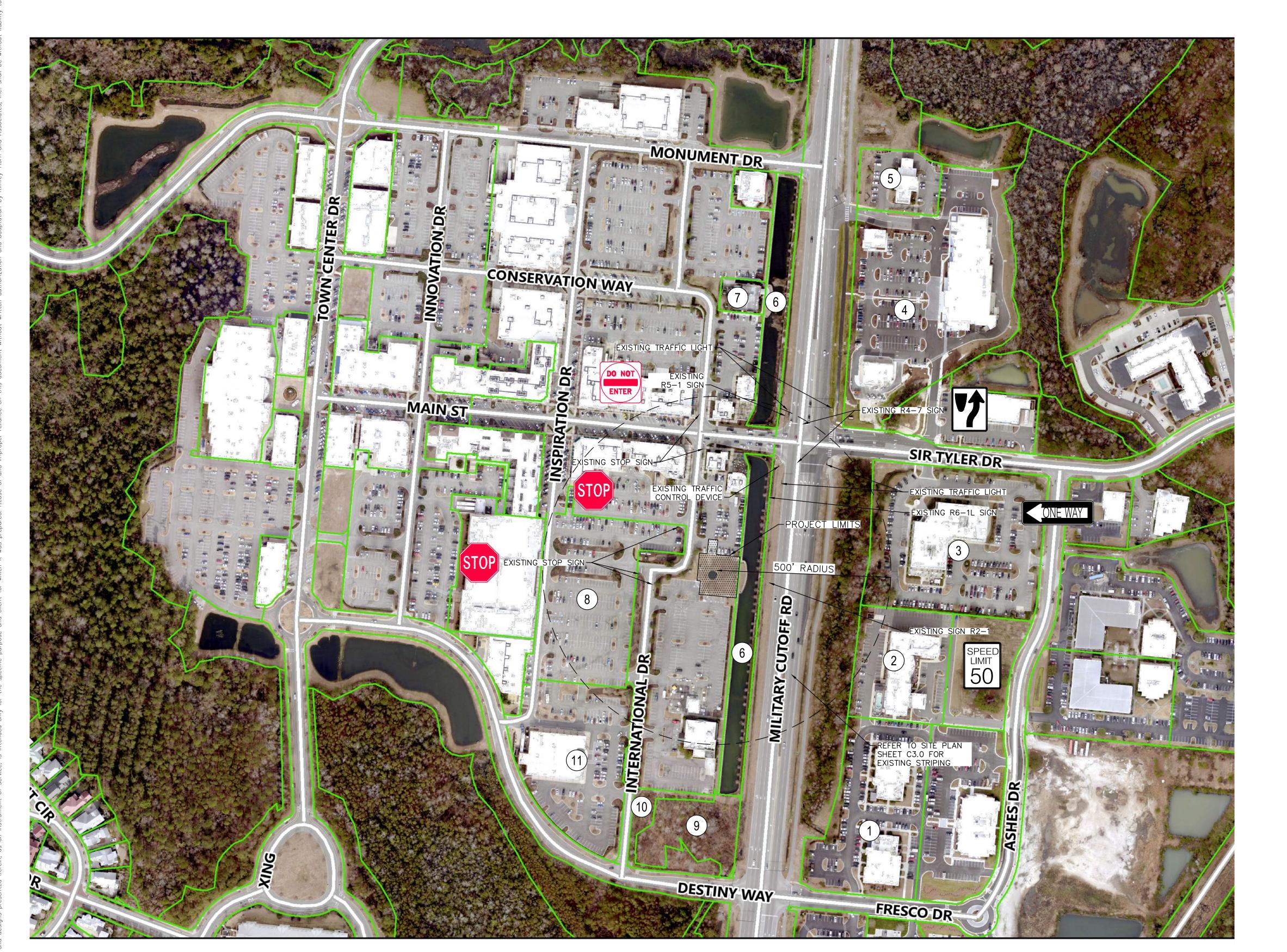
Public Services • Engineering Division APPROVED DRAINAGE PLAN Date: _____ Permit #_____

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PREPARED FOR PROPERTIES

SHEET NUMBER C1.0



SITE LEGEND

PROPERTY LINE

	ADJACENT PROPERTY OWNERS				
KEY	OWNER (N/F)	PARCEL ID	ZONING	LAND USE	
1	RENAISSANCE COURTYARD LLC	R05100-003-092-000	СВ	730-BUSINESS	
2	PHR WNC LLC	R05100-003-066-000	O&I	701-RESIDENTIAL HOTEL	
3	WRP OFFICE PARK ASSOCIATION	R05100-003-067-000	0&1	OAC-OWNERS ASSOCIATION COMMON AREA	
4	HRP RENAISSANCE MARKET LLC	R05100-003-095-000	СВ	541-GROCERIES RETAIL CONV.	
5	AQUESTA BANK	R05100-003-093-000	0&l	601-FINANCES BANK	
6	MAYFAIRE COMMUNITY ASSN (HOA)	R05000-003-030-000	MX	961-CONDOMINIUM COMMON AREA	
7	CBL & ASSOCIATES MANAGEMENT INC.	R05000-003-292-000	MX	584-EATING PLACE W/ ALCOHOL	
8	MAYFAIRE TOWN CENTER LP	R05000-003-016-000	MX	752-AUTO PARKING	
9	MAYFAIRE TOWN CENTER LP	R05000-003-197-000	MX	958-UNUSED LAND	
10	MAYFAIRE TOWN CENTER LP	R05000-003-130-000	MX	958-UNUSED LAND	
11	MAYFAIRE TOWN CENTER LP	R05000-003-129-000	MX	541-GROCERIES RETAIL CONV.	

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DATE 10/31/2019 SCALE AS SHOWN DESIGNED BY DS DRAWN BY JWH

NTEXTUAL & SITE VENTORY PLAN

WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

Date: ______ Permit #_____

Signed: ______
Approved Construction Plan

Name Date

Ianning ______

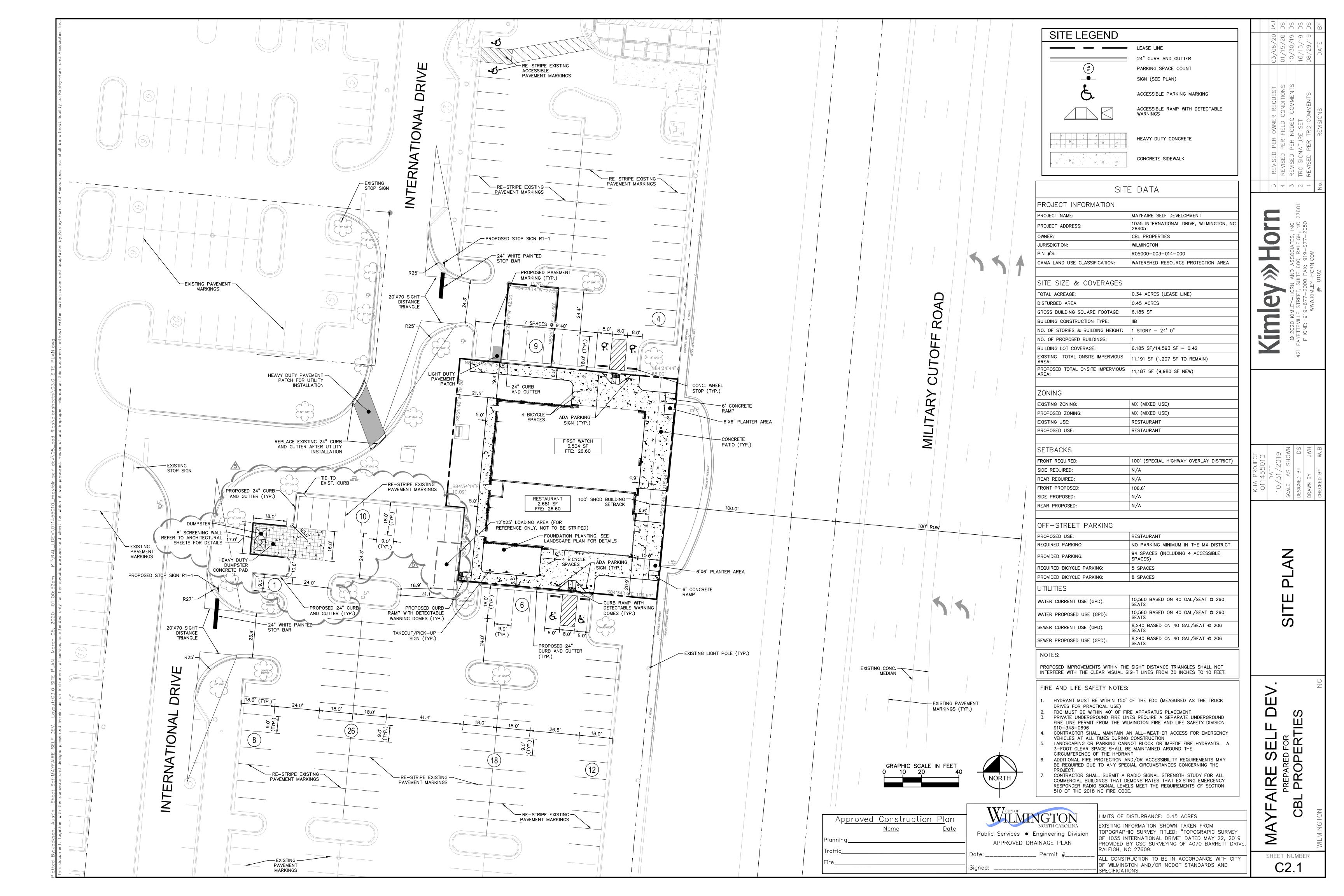
LIMITS OF DISTURBANCE: 0.45 ACRES

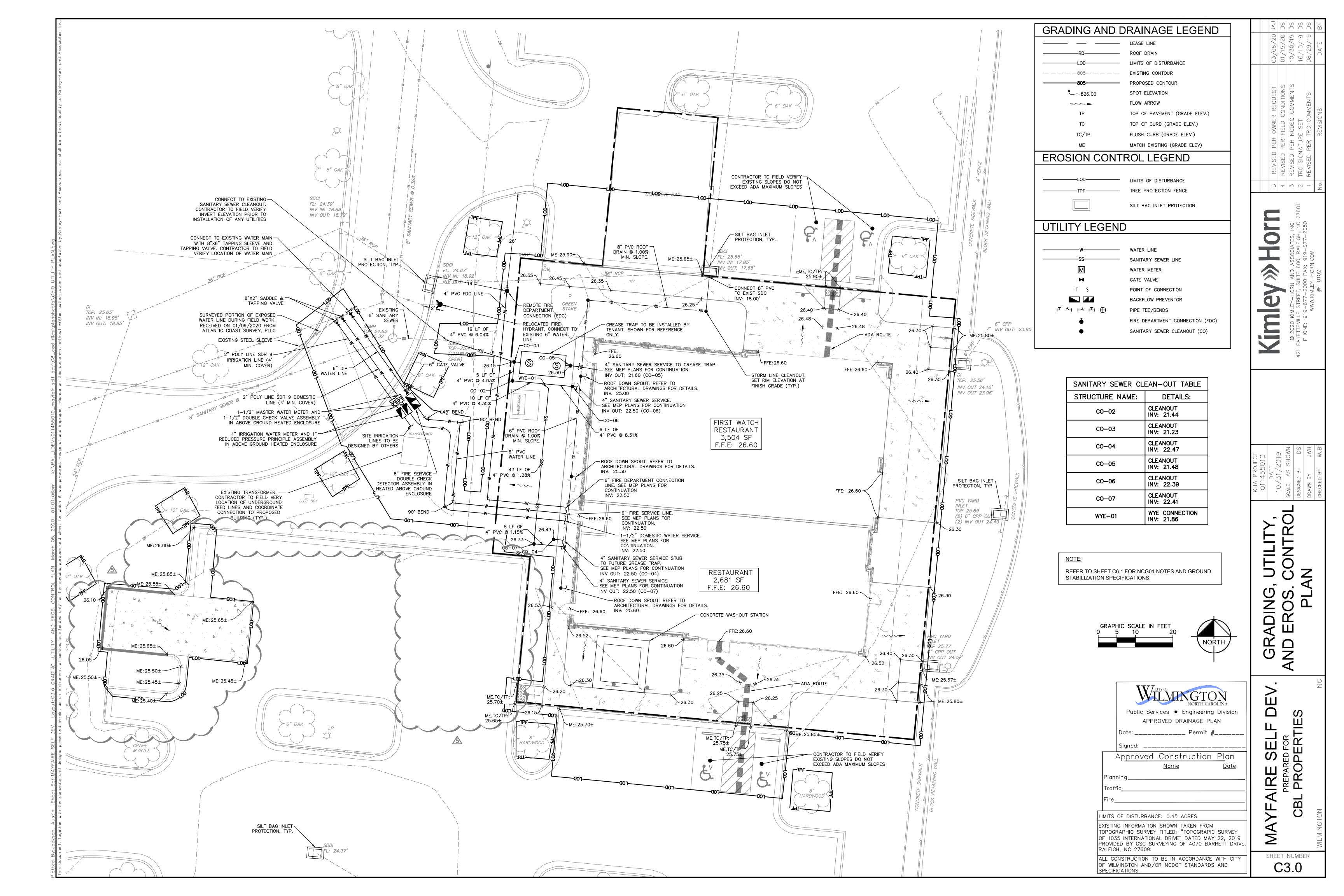
EXISTING INFORMATION SHOWN TAKEN FROM
TOPOGRAPHIC SURVEY TITLED: "TOPOGRAPIC SURVEY
OF 1035 INTERNATIONAL DRIVE" DATED MAY 22, 2019
PROVIDED BY GSC SURVEYING OF 4070 BARRETT DRIVE,
RALEIGH, NC 27609.

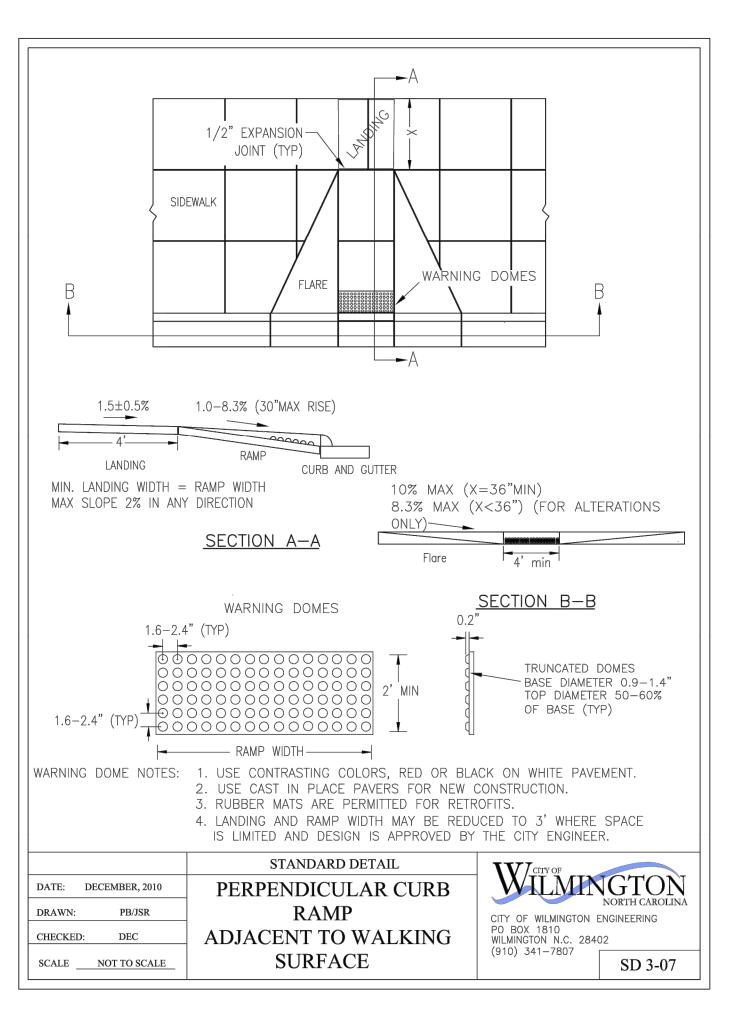
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

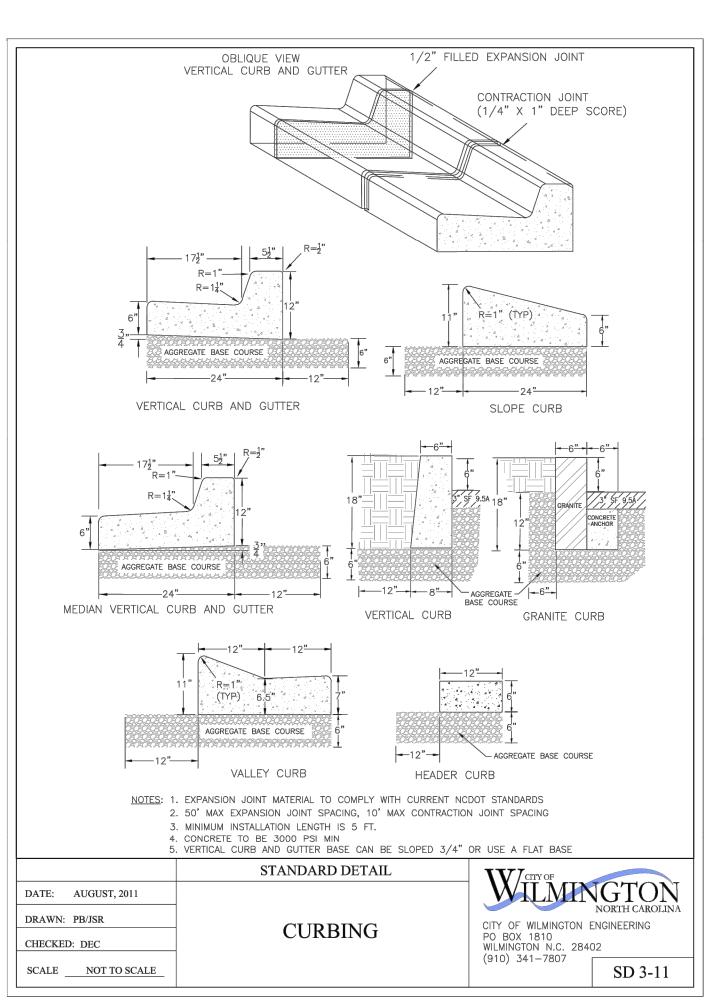
MAYFAIRE SELF DEV
PREPARED FOR
CBL PROPERTIES

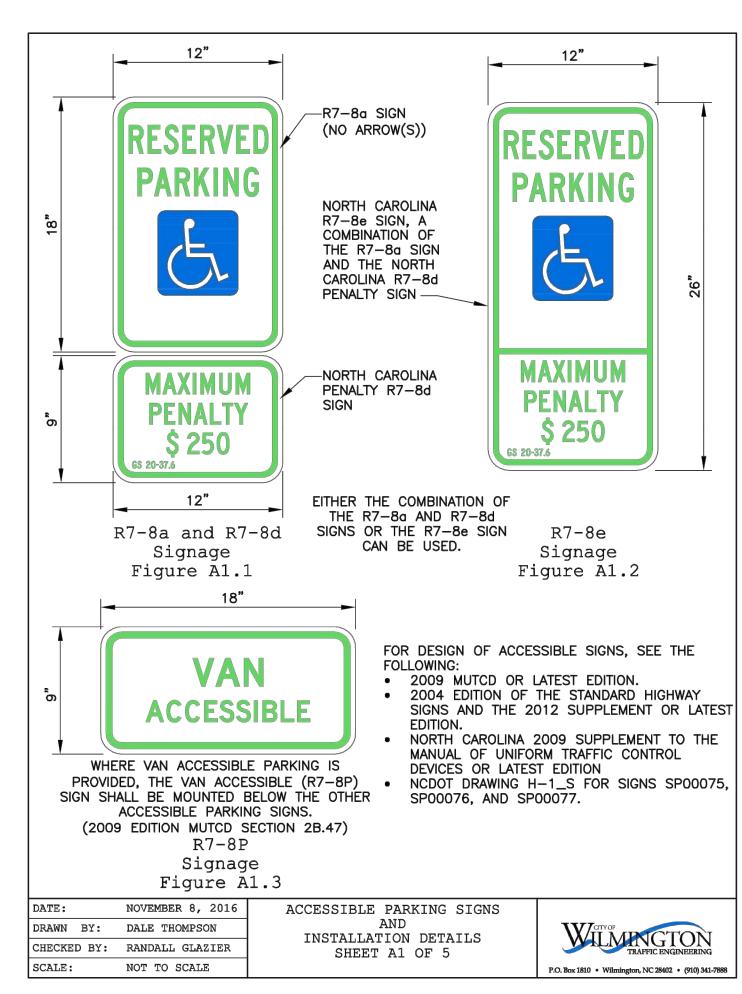
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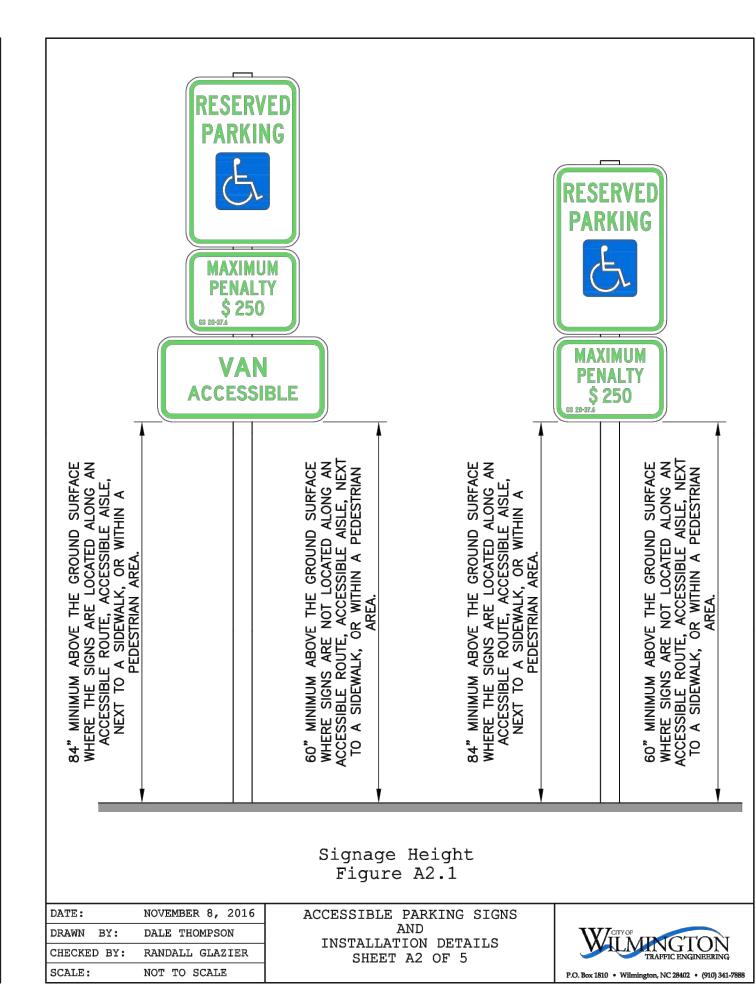


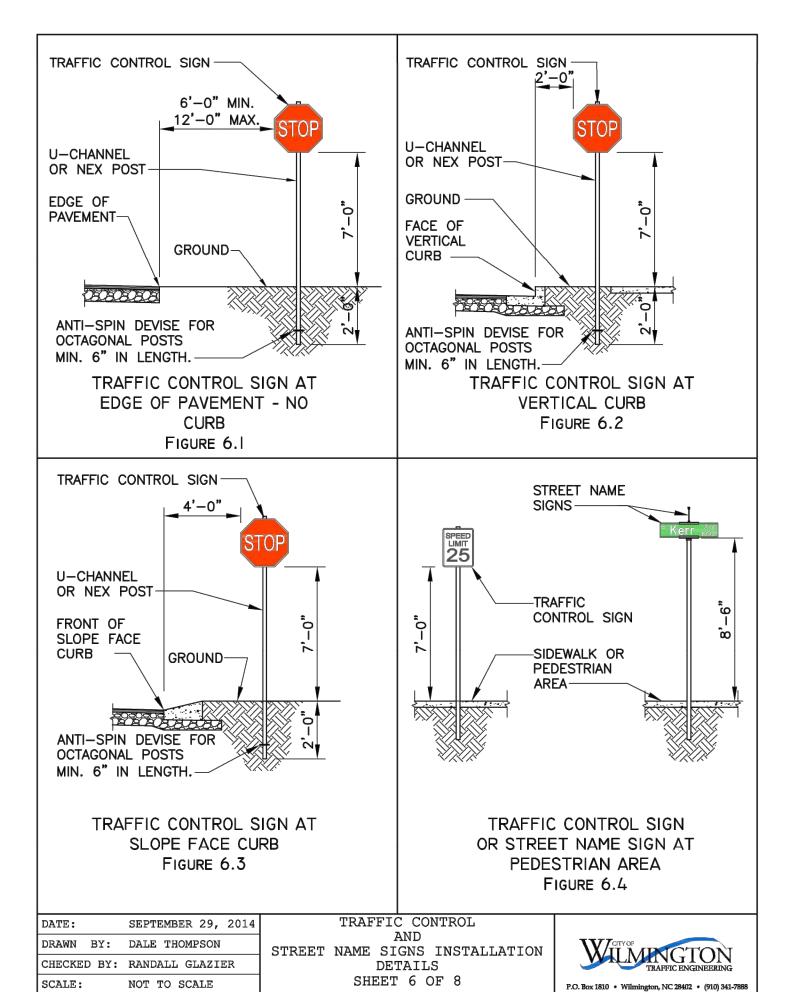


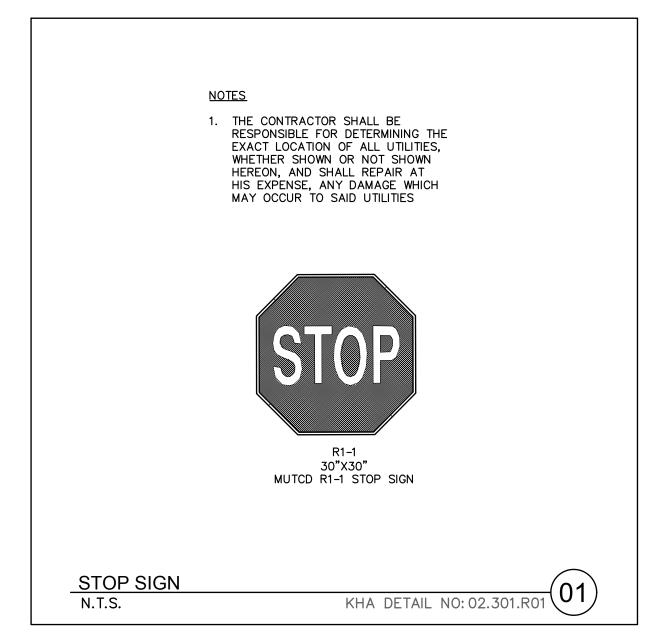




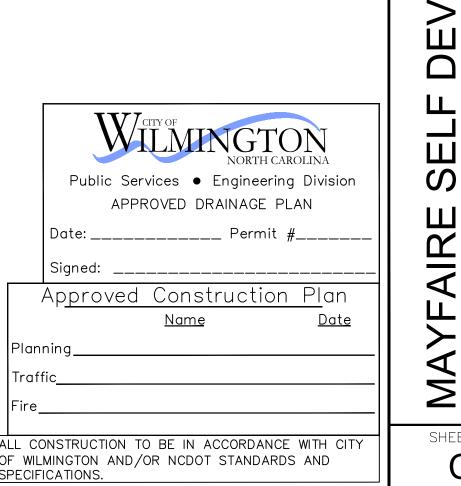










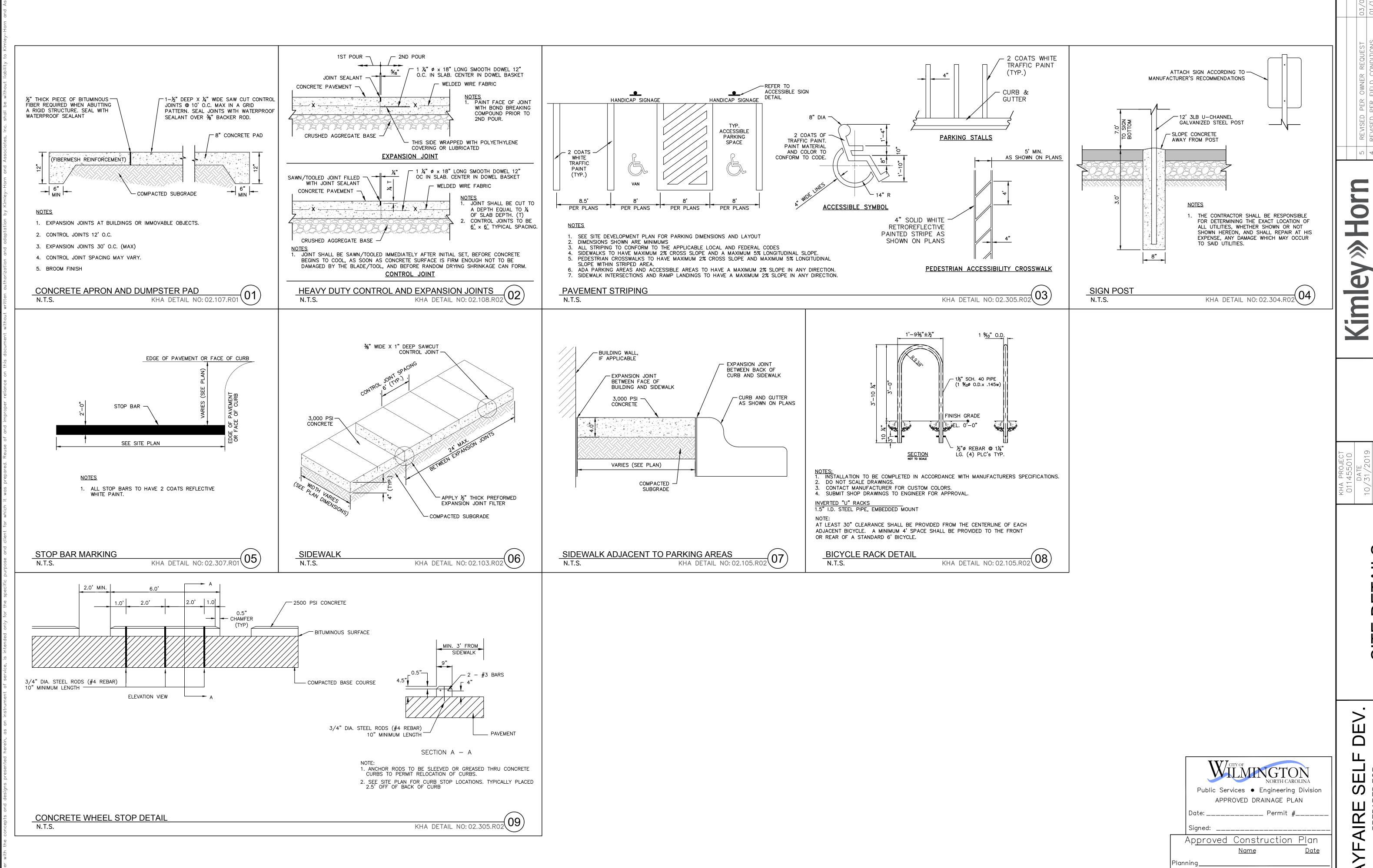


SITE

PR

SHEET NUMBER

C4.0



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PR

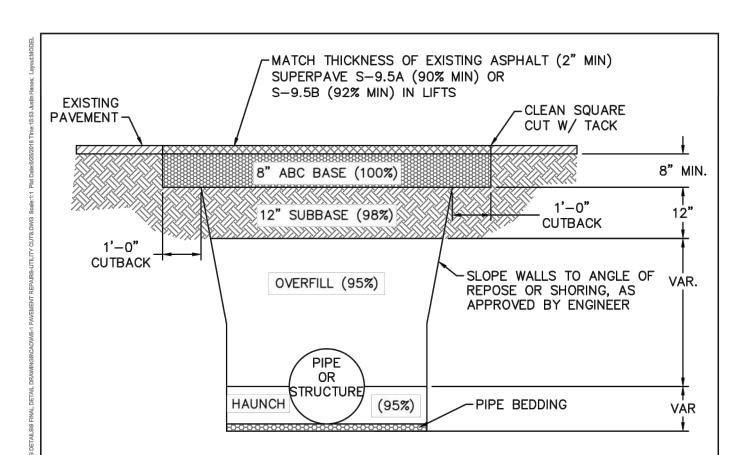
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ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY

OF WILMINGTON AND/OR NCDOT STANDARDS AND

SPECIFICATIONS.



NOTES:

- 1. CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
- 2. FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBOS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
- 3. SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57 STONE, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
- 4. SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR
- LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED. 5. ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF
- 6. COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC
- STONE, AND BY NUCLEAR GAGE OR CORE SAMPLE FOR ASPHALT. 7. CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

(FOR PRIVATE ROADS AND PAVED AREAS; CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS)

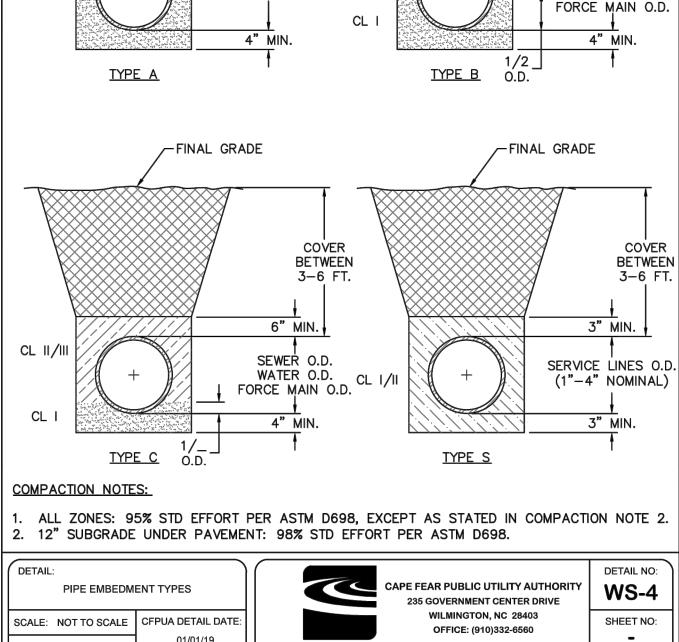
DETAIL: CITY OF WILMINGTON PAVEMENT REPAIRS-UTILITY CUTS SCALE: NOT TO SCALE | CFPUA DETAIL DATE CFPUA REV. No:



WILMINGTON, NC 28403 OFFICE: (910)332-6560

APE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE

DETAIL NO: DETAIL: **WS-1** SHEET NO: CFPUA REV. No:



Stewardship, Sustainability, Service

CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:

1. ALL PROPOSED ADDITIONS TO THE CAPE FEAR PUBLIC UTILITY

HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM

AUTHORITY (CFPUA) WATER DISTRIBUTION AND SANITARY

SEWER COLLÈCTION SYSTEMS, AS SHOWN AND SPECIFIED

TO STATE RULES AND THE CFPUA'S MINIMUM TECHNICAL

-FINAL GRADE

GREATER

THAN OR

EQUAL TO 12 FT.

6" MIN.

SEWER O.D.

CL II

CL I

-FINAL GRADE

COVER

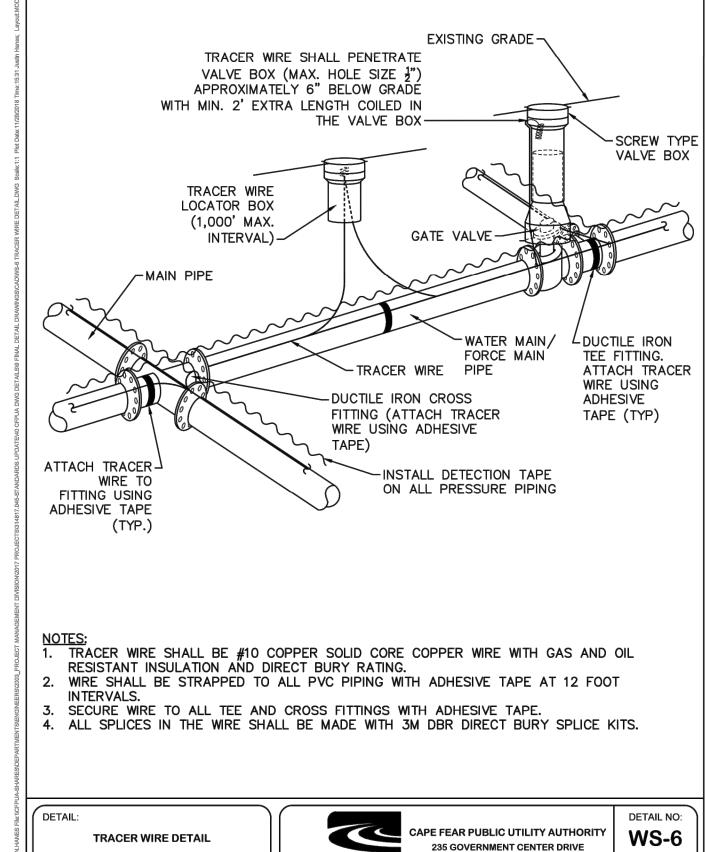
BETWEEN

6- 12 FT.

6" MIN.

SEWER O.D.

WATER O.D.



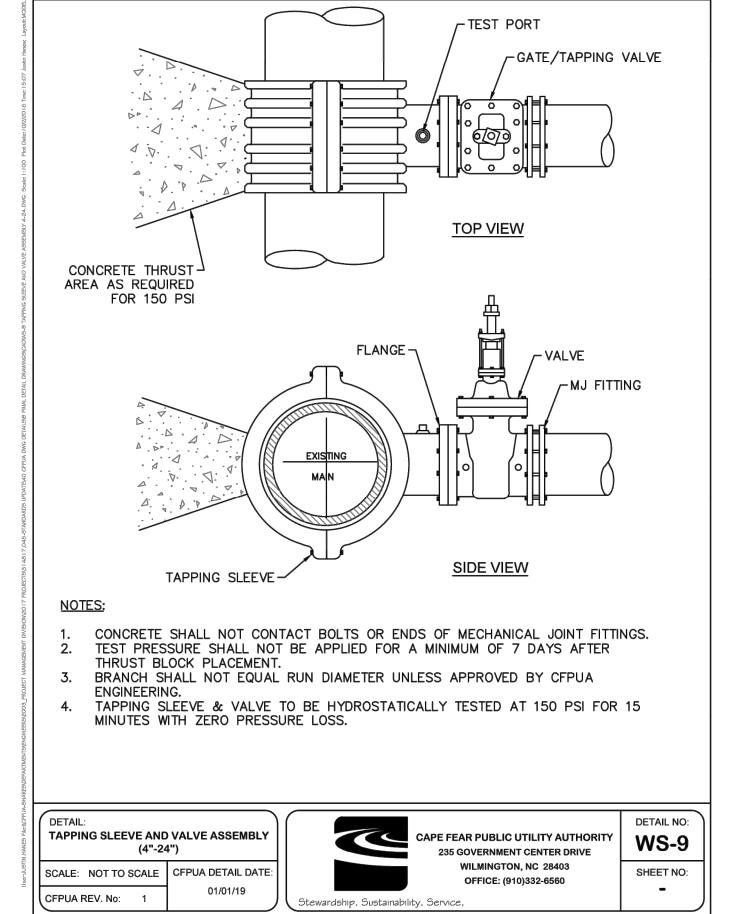
SCALE: NOT TO SCALE | CFPUA DETAIL DATE:

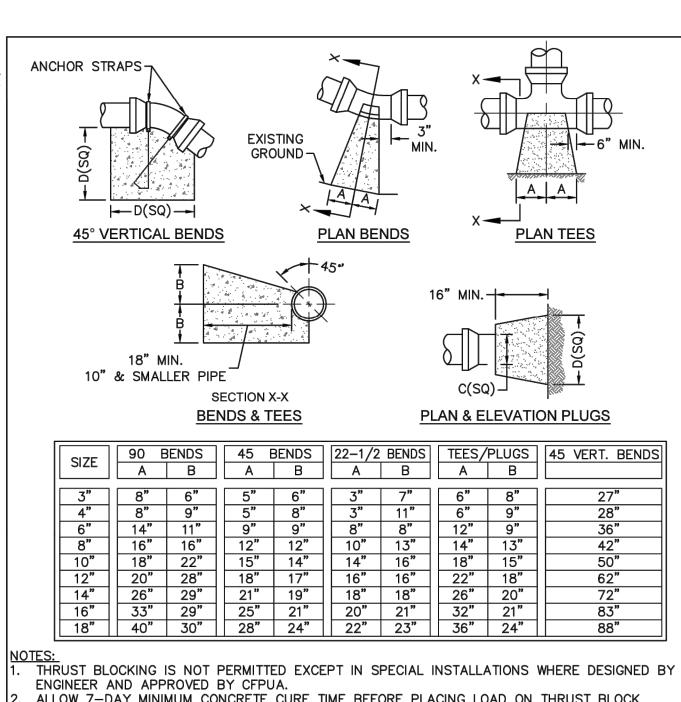
CFPUA REV. No:

WILMINGTON, NC 28403

OFFICE: (910)332-6560

SHEET NO:





ALLOW 7-DAY MINIMUM CONCRETE CURE TIME BEFORE PLACING LOAD ON THRUST BLOCK BASED ON 160 PSI TEST PRESSURE AND 2,000 PSF SOIL BEARING CAPACITY. 4. ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.

5. PIPE & FITTINGS TO BE WRAPPED IN 10 MIL PLASTIC PRIOR TO THRUST BLOCK BEING POURED.

THRUST BLOCK SCALE: NOT TO SCALE | CFPUA DETAIL DATE:

CFPUA REV. No: 1

Stewardship. Sustainability. Service.

APE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560

WS-13 SHEET NO: SCALE: NOT TO SCALE | CFPUA DETAIL DATE CFPUA REV. No: 2



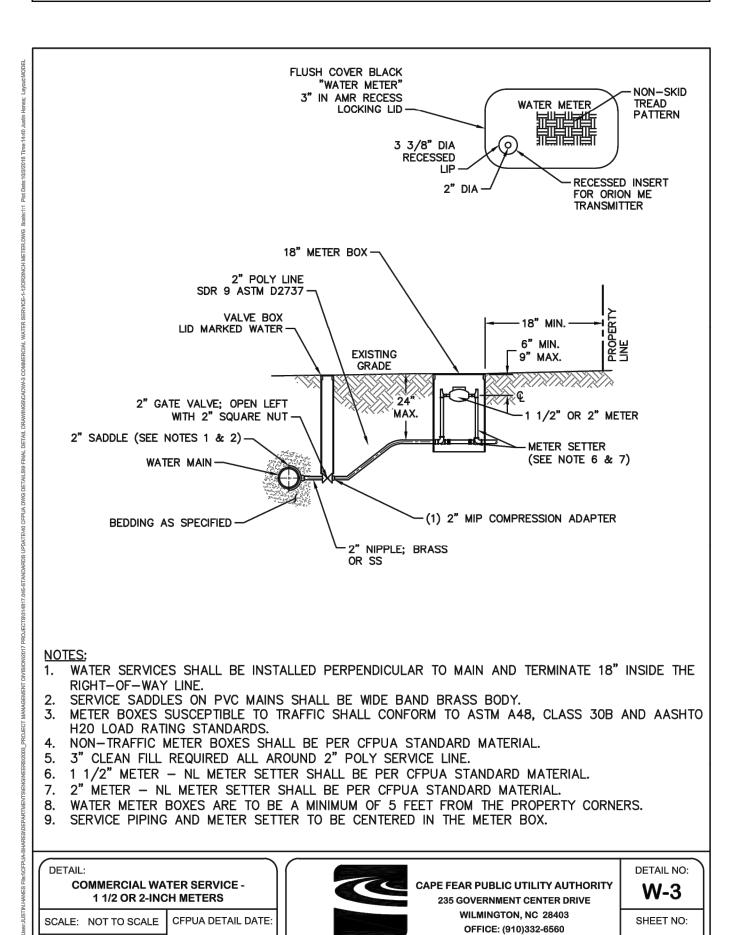
Stewardship. Sustainability. Service.

WILMINGTON, NC 28403

OFFICE: (910)332-6560

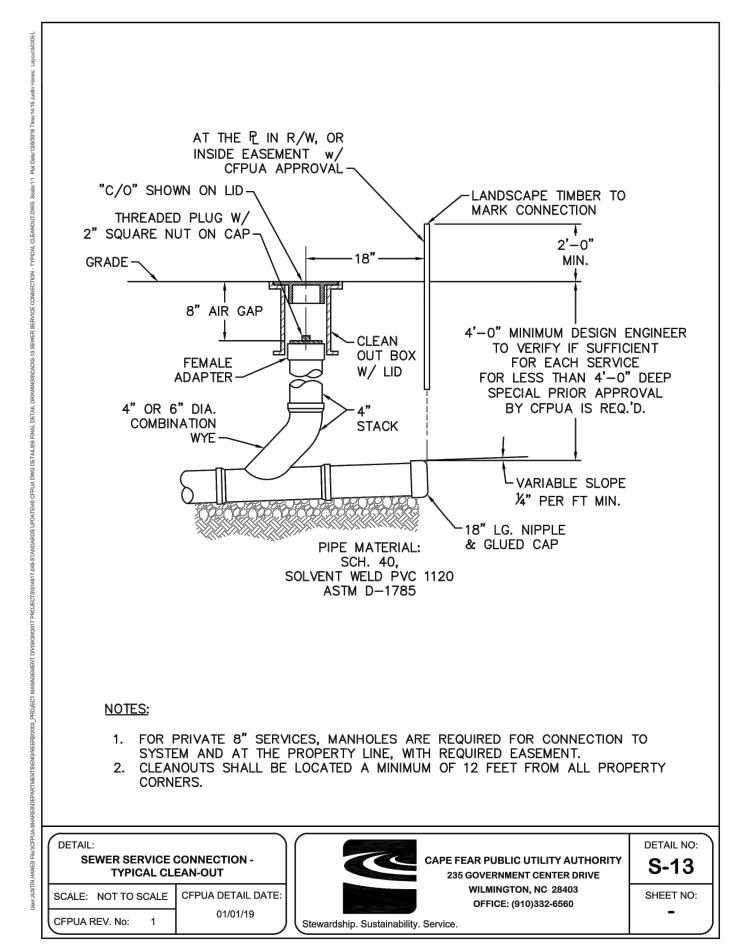
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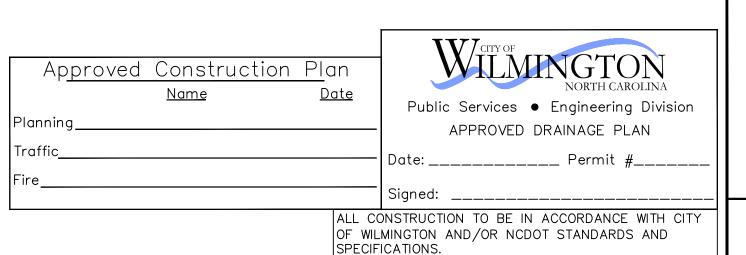
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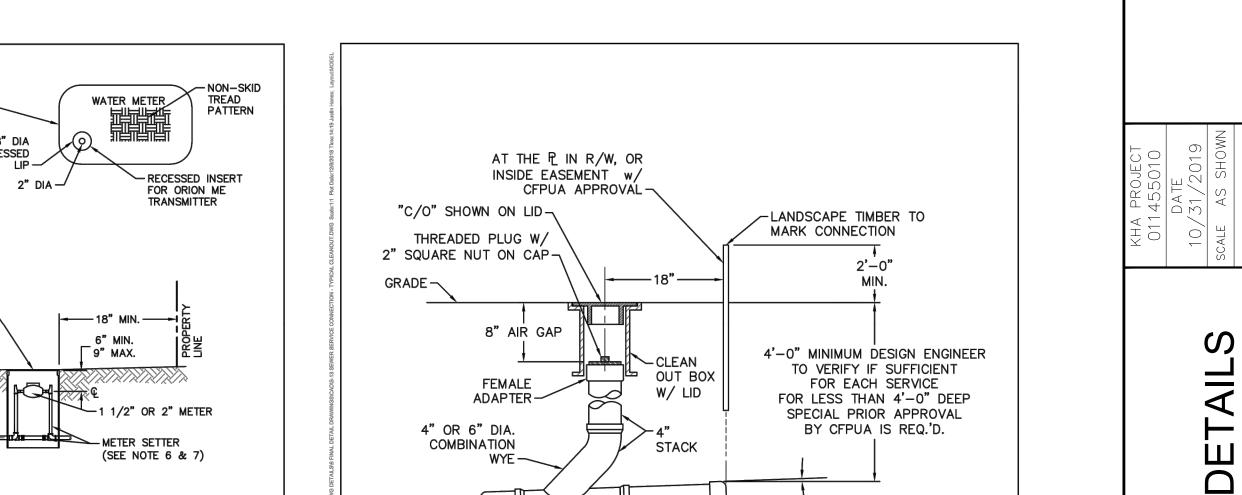
Stewardship. Sustainability. Service.

Stewardship. Sustainability. Service

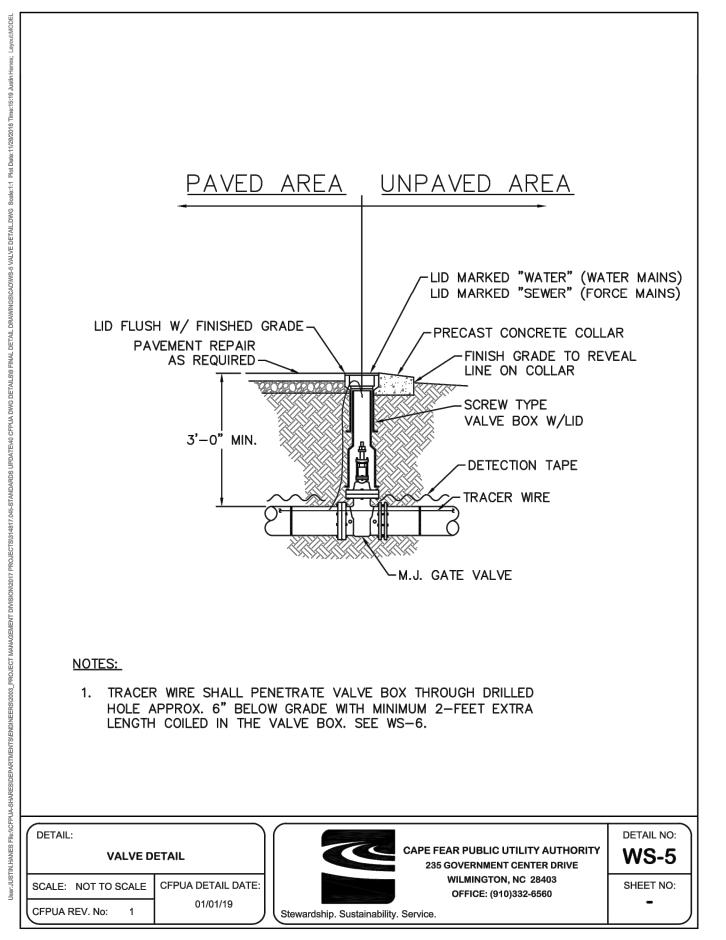


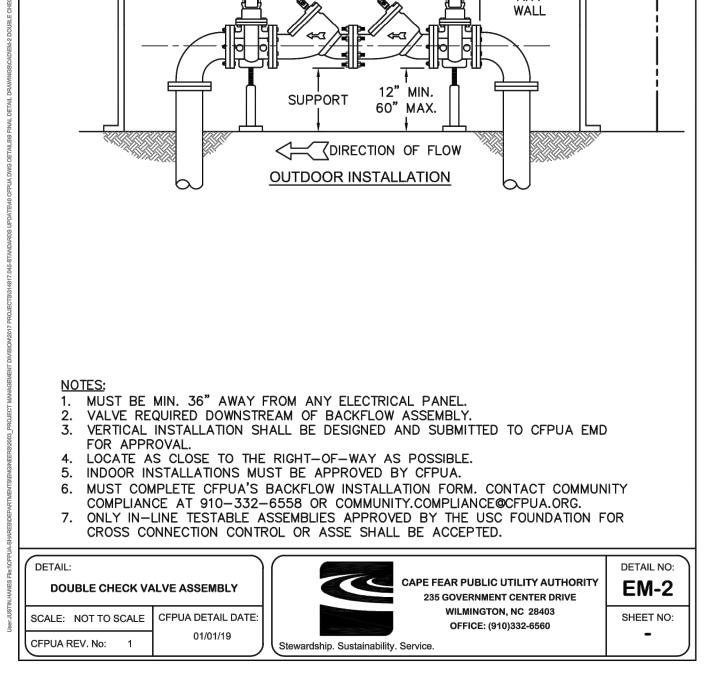






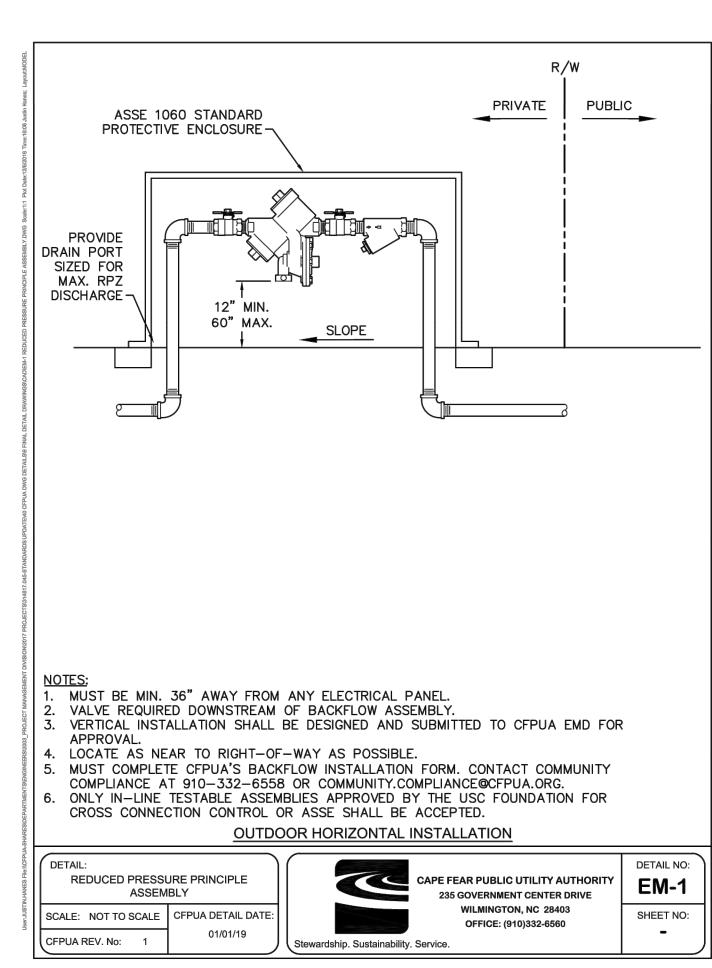
SHEET NUMBER C5.0

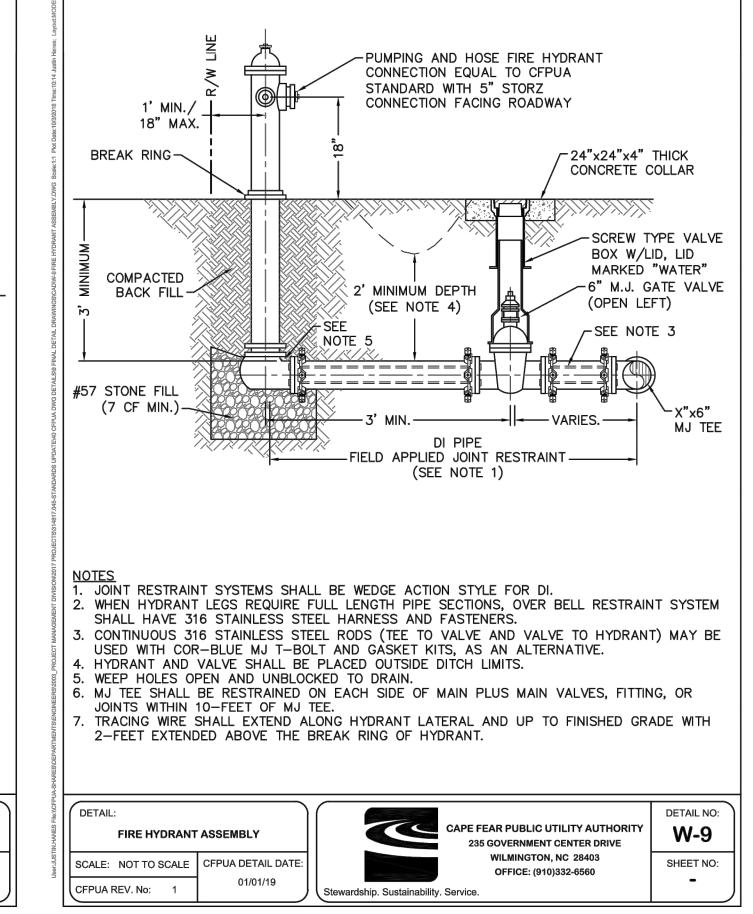


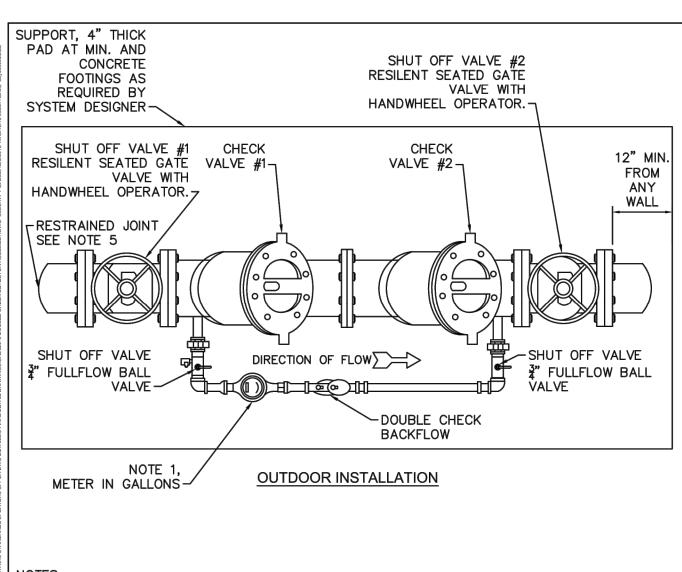


ASSE 1060 STANDARD

PROTECTIVE ENCLOSURE-

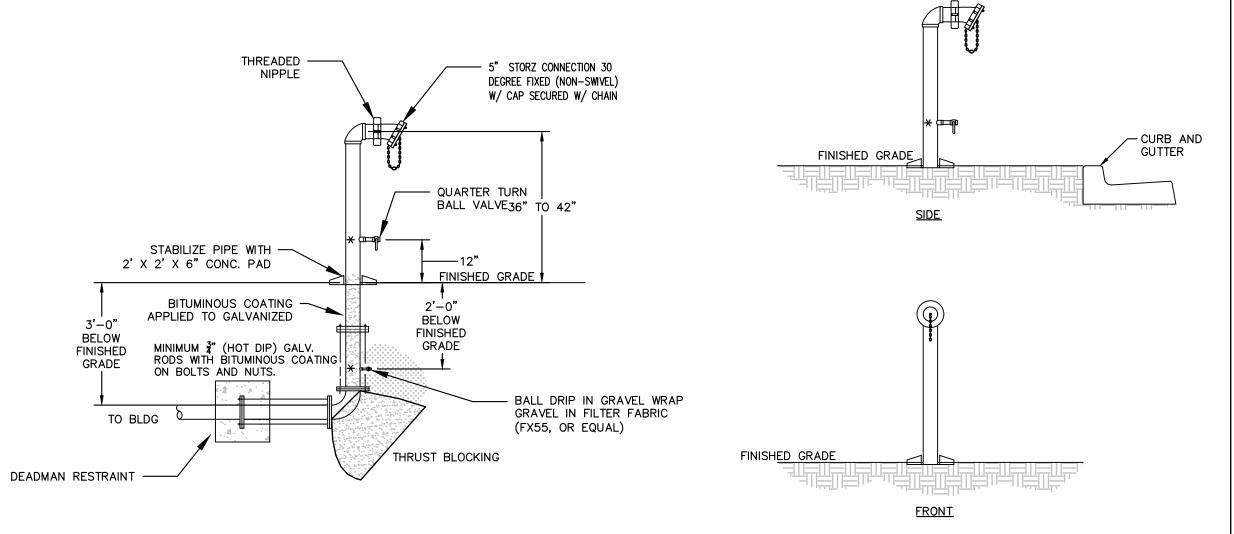






- . FIRE SERVICE BACKFLOW ASSEMBLIES MUST BE CFPUA APPROVED. ABOVE GROUND DOUBLE CHECK DETECTOR ASSEMBLIES (DCDA) PER CFPUA STANDARDS. 4"-10" DCDA SHALL BE SUPPORTED WITH ADEQUATE SUPPORT PEDESTAL(S). OUTDOOR INSTALLATION SHALL HAVE A PROTECTIVE ENCLOSURE PER CFPUA STANDARDS.
- MAIN LINE 3" BRASS, K-COPPER OR GALVANIZED PIPE, 4" TO 10" DIP. RESTRAINED JOINTS SHALL BE FLANGED OR APPROVED EQUAL. CFPUA APPROVED 3" - 10" DCDA INCLUDES SHUT OFF VALVES #1 AND #2. AS PART OF
- THE ASSEMBLY. NO SUBSTITUTIONS SHALL BE PERMITTED. TEST COCK #1 SHALL BE UPSTREAM OF SHUT OFF VALVE #1 AND IS PART OF THE APPROVED ÄSSEMBLY.
- MUST COMPLETE CFPUA'S BACKFLOW INSTALLATION FORM. CONTACT COMMUNITY COMPLIANCE AT 910-332-6558 OR EMAIL COMMUNITY.COMPLIANCE@CFPUA.ORG. ONLY IN-LINE TESTABLE ASSEMBLIES APPROVED BY THE USC FOUNDATION FOR CROSS CONNECTION CONTROL OR ASSE SHALL BE ACCEPTED.

DETAIL: FIRE SEF		CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE	DETAIL NO: EM-5
SCALE: NOT TO SCALE	CFPUA DETAIL DATE:	WILMINGTON, NC 28403 OFFICE: (910)332-6560	SHEET NO:
CFPUA REV. No: 1	01/01/19	Stewardship. Sustainability. Service.	



R/W

PRIVATE

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FROM

GENERAL NOTES

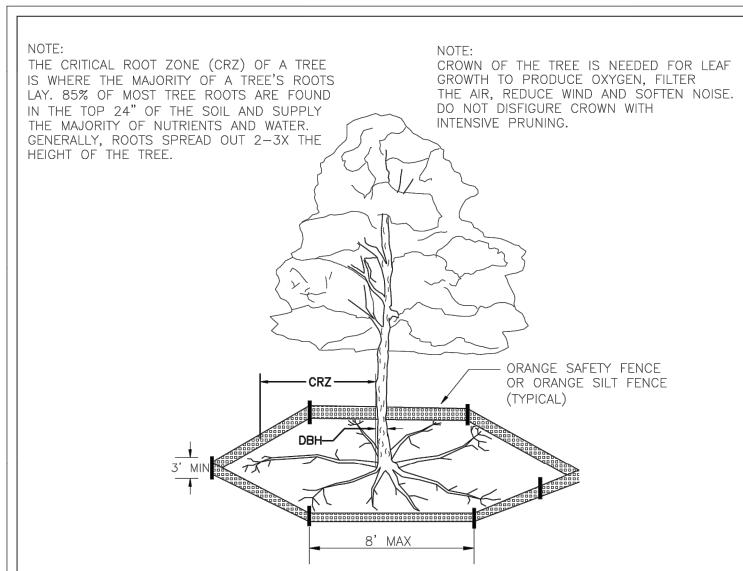
- 1. THE FDC SHALL BE EQUIPPED WITH A SINGLE FIVE (5) INCH THREAD-LESS STORZ BRAND CONNECTION AND SHALL HAVE A 30-45 DEGREE DOWNWARD DEFLECTION. THE STORZ CONNECTION SHALL CONNECT TO THE PIPE OUTLET FROM THE BUILDING USING NATIONAL STANDARD THREAD. THE FDC PIPING UNDERGROUND SHALL BE EQUIPPED WITH A BALL DRIP VALVE TO ENSURE FIRE DEPARTMENT CONNECTION HAS NO STANDING WATER IN THE CONNECTION AND THAT THE PIPING DOES NOT FREEZE.
- 2. THE FDC SHALL BE ARRANGED TO FACE A PAVED ROADWAY, SIDEWALK OR OTHER APPROVED AREA AND SHALL BE INSTALLED SO THAT IT WILL NOT INTERFERE WITH ACCESS TO THE BUILDING WHEN HOSES ARE LAID FROM THE CLOSEST PUBLIC HYDRANT TO THE FDC.
- 3. THE FDC SHALL BE ARRANGED SO THAT THE CONNECTION IS NO MORE THAN (48) INCHES ABOVE THE FINISHED GRADE, SIDEWALK OR LOCATION OF THE CONNECTION.
- 4. WHERE THE FDC IS SUBJECT TO VEHICLE DAMAGE, THE CONNECTION SHALL BE PROTECTED PER THE FIRE CODE. (BOLLARD PROTECTION)
- 5. A SIGN WITH LETTERS AT LEAST 6 INCH IN SIZE SHALL BE MOUNTED ON ALL FIRE DEPARTMENT CONNECTIONS. (THE SIGN SHALL HAVE RED LETTERS ON A WHITE BACKGROUND.) WHERE THE FIRE DEPARTMENT CONNECTION DOES NOT SERVE THE ENTIRE BUILDING A SIGN SHALL BE PROVIDED INDICATING THE PORTIONS OF THE BUILDING SERVED.
- 6. FIRE DEPARTMENT CONNECTIONS SHALL BE AT LEAST 10 FEET AWAY FROM ALL UTILITIES (I.E. NATURAL GAS, LP GAS, ELECTRICAL METERS AND TRANSFORMERS).
- 7. THREE (3) FEET OF CLEARANCE IS REQUIRED AROUND THE FIRE DEPARTMENT CONNECTION THIS INCLUDES BUSHES, WALLS, RETAINING WALLS, AND HOT BOXES UNLESS ATTACHED.

REMOTE FIRE DEPARTMENT CONNECTI	ON (EDC)

N.T.S.

KHA DETAIL NO: 05.208.R01

	WILMINGTON NORTH CAROLINA Public Services • Engineering Division APPROVED DRAINAGE PLAN		
	Date: Permit #		
	Signed:		
,	Approved Construction Plan Name Date		
Plan	Planning		
Traft	Traffic		
Fire_			
OF WIL	ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.		

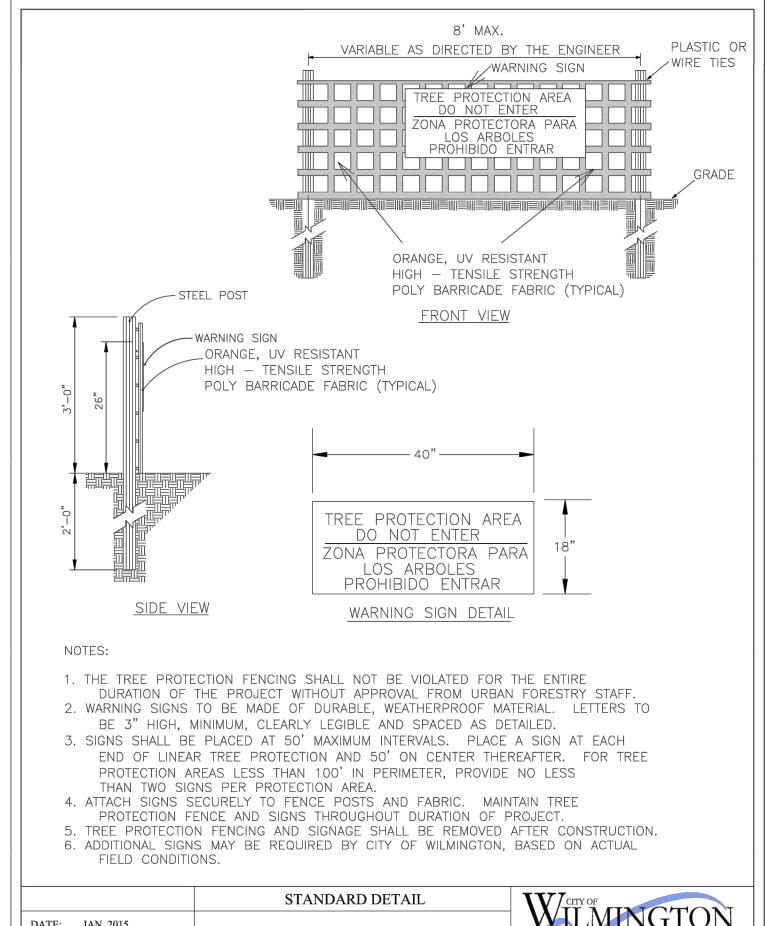


- 1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.
- 2. CRZ RADIUS IS 1 FT PER INCH OF TREE DIAMETER AT BREAST HEIGHT (DBH). 3. IF CONSTRUCTION OCCURS WITHIN THE CRZ, AT LEAST 12" OF MULCH AND/OR
- LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE. 4. WHERE SIDEWALKS AND PATHWAYS PASS WITHIN CRZ, EXTRA CARE SHALL BE TAKEN TO AVOID DAMAGE TO THE ROOTS. ALTERNATE CONSTRUCTION METHODS, SUCH AS A
- REINFORCED SIDEWALK, SHALL BE IMPLEMENTED AS NECESSARY 5. FOR ALL TREES, CUTTING OF LARGE STRUCTURAL ROOTS LOCATED NEAR THE BASE OF THE TRUNK IS PROHIBITED. DO NOT COMPACT SOIL BENEATH TREES. NO VEHICLE SHALL BE ALLOWED TO PARK UNDER TREES. NO MATERIALS OR EQUIPMENT SHALL BE STORED BENEATH TREES. DAMAGING THE BARK WITH

LAWNMOWERS, CONSTRUCTION EQUIPMENT, OR ANYTHING ELSE IS PROHIBITED.

CONTRACTOR SHALL REPAIR DAMAGE TO TREES. 6. FAILING TO INSTALL OR MAINTAIN PROTECTION MEASURES SHALL RESULT IN A STOP WORK ORDER AND FINE OF \$500/DAY. DISTURBANCE OTHER THAN THAT ALLOWED ON THE APPROVED PLAN WILL RÉQUIRE OWNER TO POST A LETTER OF CREDIT FOR

3 1K5 FUR	TREE MITIGATION.		
	STANDARD DETAIL	CITY OF	OFFORT
DATE: JAN, 2015	TREE PROTECTION	THE PERSON NAMED IN	GTON NORTH CAROLINA
DRAWN BY JSR	TREE PROTECTION	CITY OF WILMINGTON	
CHECKED BY RDG, P.E.	DURING	PO BOX 1810	
CHECKED BY KDG, F.E.	CONSTRUCTION	WILMINGTON, NC 284 (910) 341-7807	02
SCALE NOT TO SCALE	SHEET 1 of 2		SD 15-09



WILMINGTON DATE: JAN, 2015 TREE PROTECTION DRAWN BY JSR CITY OF WILMINGTON ENGINEERING DURING PO BOX 1810 CHECKED BY RDG, P.E. WILMINGTON, NC 28402 CONSTRUCTION (910) 341-7807 SCALE NOT TO SCALE SD 15-09 SHEET 2 of 2

Temporary Seeding Recommendations for Late Winter and Early Spring

Table 6.10a Seeding mixture Rate (lb/acre) Rye (grain) Annual lespedeza (Kobe in Piedmont and Coastal Plain, Korean in Mountains) Omit annual lespedeza when duration of temporary cover is not to extend beyond June. Seeding dates

Mountains—Above 2500 feet: Feb. 15 - May 15 Below 2500 feet: Feb. 1- May 1 Piedmont—Jan. 1 - May 1 Coastal Plain—Dec. 1 - Apr. 15

used as a mulch anchoring tool.

Soil amendments Follow recommendations of soil tests or apply 2,000 lb/acre ground agricultural limestone and 750 lb/acre 10-10-10 fertilizer.

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be

TEMPORARY SEEDING RECOMMENDATIONS

N.T.S.

Maintenance Refertilize if growth is not fully adequate. Reseed, refertilize and mulch immediately following erosion or other damage.

Practice Standards and Specifications

Temporary Seeding	Seeding mixture Species	Rate (lb/acre)
Recommendations for Summer	German millet In the Piedmont and Mountains, a si	40
	substituted at a rate of 50 lb/acre.	mail-sternined oddangrass may be
	Seeding dates Mountains—May 15 - Aug. 15 Piedmont—May 1 - Aug. 15 Coastal Plain—Apr. 15 - Aug. 15	
	Soil amendments Follow recommendations of soil teagricultural limestone and 750 lb/ac	
	Mulch Apply 4,000 lb/acre straw. Anchor strong a mulch anchoring tool. A disk with used as a mulch anchoring tool.	
	Maintenance Refertilize if growth is not fully adequipmediately following erosion or other	

Table 6.10c | Seeding mixture Temporary Seeding Recommendations for Fall

Rate (lb/acre)

Seeding dates Mountains—Aug. 15 - Dec. 15 Coastal Plain and Piedmont—Aug. 15 - Dec. 30

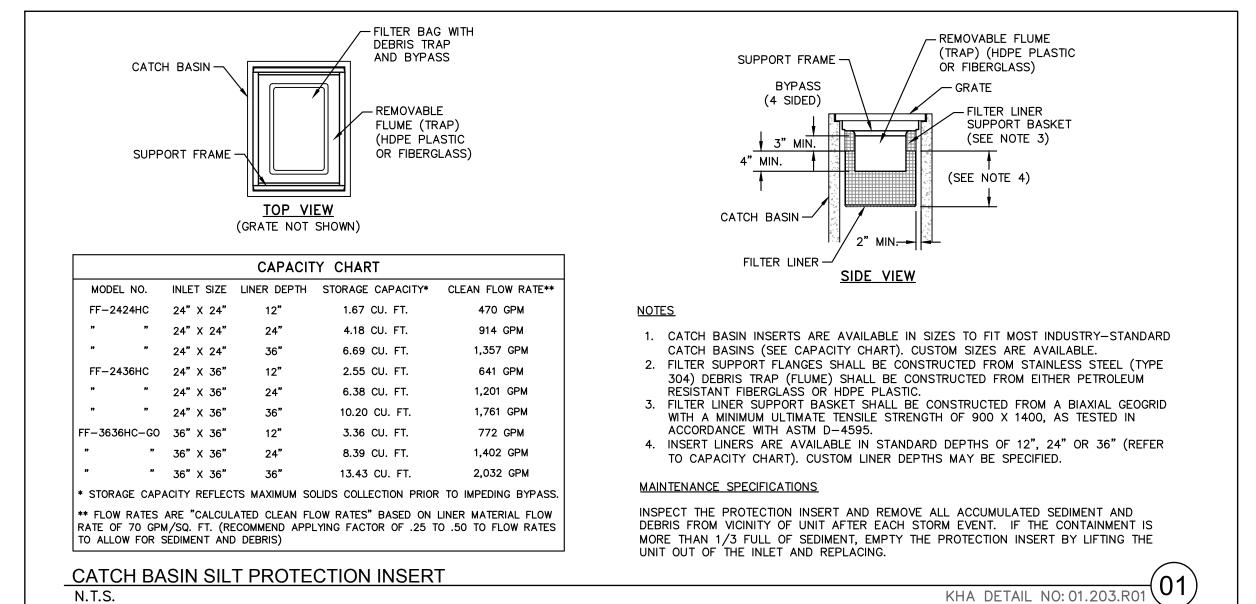
Soil amendments Follow soil tests or apply 2,000 lb/acre ground agricultural limestone and 1,000 lb/acre 10-10-10 fertilizer.

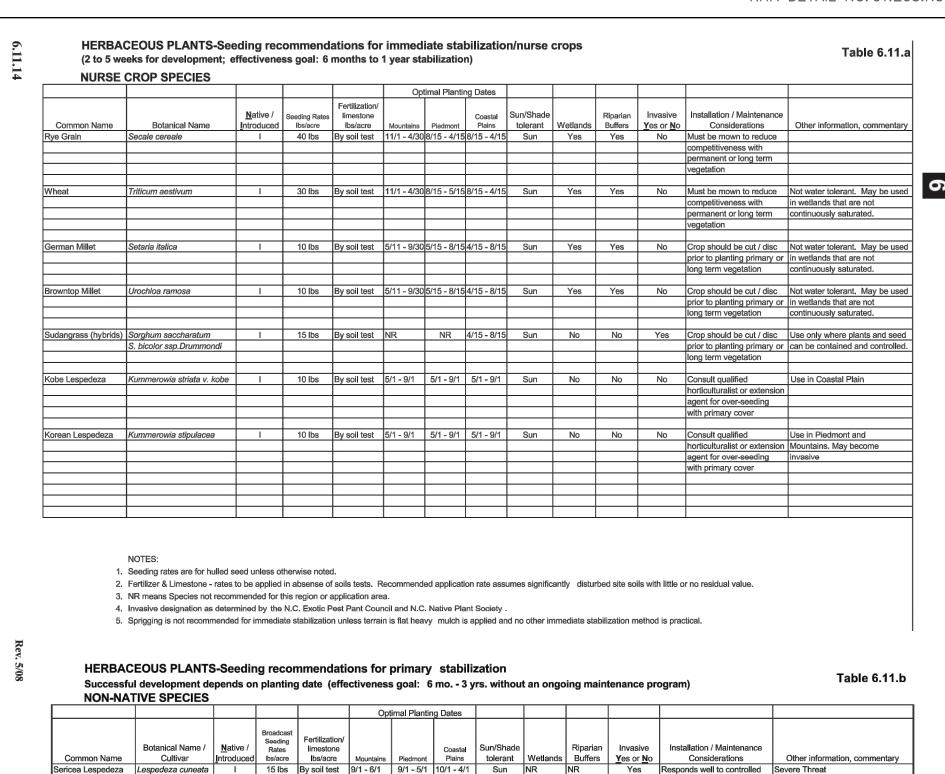
Rye (grain)

Apply 4,000 lb/acre straw. Anchor straw by tacking with asphalt, netting, or a mulch anchoring tool. A disk with blades set nearly straight can be used as a mulch anchoring tool.

Maintenance

Repair and refertilize damaged areas immediately. Topdress with 50 lb/acre of nitrogen in March. If it is necessary to extent temporary cover beyond June 15, overseed with 50 lb/acre Kobe (Piedmont and Coastal Plain) or Korean (Mountains) lespedeza in late February or early March.





Botanical Name / Native / Introduced | Name / Common Name | Cultivar | Serical Lespedeza | Lespedeza cuneata | Lespedeza | Les 15 lbs By soil test 3/15-4/30 NR NR Yes Highly competitive, Centipede Grass 5 lbs By soil test NR Eastern 9/1 - 5/1 Sun NR NR No Significant maintenance Eremochloa ophiuroi may be required to obtain 100 lbs By soil test 8/15-5/1 9/1-4/15 9/30 - 3/15 Sun / NR NR Yes If utilized, it is imperative KY 31 Tall Fescue Schedonorus phoeni Acceptable for sodding (Festuca arundinacea) that maintenance includes 15 lbs By soil test 8/15-5/1 NR NR Sun NR NR Yes If utilized, it is imperative Prefers neutral soils, highly unless an acceptable alternative a containment plan Acceptable for sodding 15 lbs By soil test 8/1 - 6/1 NR NR w growing, bunch grass Festuca longifolia, 25 lbs By soil test NR 4/15-6/30 4/15-6/30 Sun NR NR Extremely aggressive, not avoided unless an acceptable alternative is not available. May be sodded or sprigged

PERMANENT SEEDING RECOMMENDATIONS

KHA DETAIL NO:

SPECIFICATIONS.

Approved Construction Plan

<u>Name</u>



Public Services • Engineering Division APPROVED DRAINAGE PLAN Signed: _____ ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND

KHA DETAIL NO:

SHEET NUMBER C6.0

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GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT mplementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION					
R	Required Ground Stabilization Timeframes				
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations			
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None			
(b) High Quality Water (HQW) Zones	7	None			
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed			
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed			
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope			
Note: After the permanent cessation of construction activities, any areas with temporary					

ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

Stabilize the ground sufficiently so that rain	will not dislodge the soil. Use one of the technic	ques in the table below:
Temporary Stabilization	Permanent Stabilization	
 Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	 Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed 	

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures. Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the
- manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite. Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment

EQUIPMENT AND VEHICLE MAINTENANCE L. Maintain vehicles and equipment to prevent discharge of fluids.

- 2. Provide drip pans under any stored equipment.
- identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- 4. Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible). 5. Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- 5. Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- . Never bury or burn waste. Place litter and debris in approved waste containers.
- 2. Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes. 3. Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- 4. Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- 5. Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers. 6. Anchor all lightweight items in waste containers during times of high winds.
- 7. Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- 8. Dispose waste off-site at an approved disposal facility.
- 9. On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- . Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available. 3. Contain liquid wastes in a controlled area.
- 4. Containment must be labeled, sized and placed appropriately for the needs of site.
- 5. Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- 1. Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and
- surface waters unless it can be shown no other alternatives are reasonably available. Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

- HAZARDOUS AND TOXIC WASTE Create designated hazardous waste collection areas on-site.
- . Place hazardous waste containers under cover or in secondary containment. B. Do not store hazardous chemicals, drums or bagged materials directly on the ground.

- HERBICIDES, PESTICIDES AND RODENTICIDES 1. Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

	Frequency	
inspect	(during normal business hours)	Inspection records must include:
(1) Rain gauge	Daily	Daily rainfall amounts.
maintained in	,,	If no daily rain gauge observations are made during weekend
good working		holiday periods, and no individual-day raintall information
order		available, record the cumulative rain measurement for those
		attended days (and this will determine if a site inspection
		needed). Days on which no rainfall occurred shall be recorded
		"zero." The permittee may use another rain-monitoring dev
		approved by the Division.
(2) E&SC	At least once per	Identification of the measures inspected.
Measures	7 calendar days	Date and time of the inspection.
	and within 24	Name of the person performing the inspection,
	hours of a rain	Indication of whether the measures were operating
	event > 1.0 inch in	properly,
	24 hours	Description of maintenance needs for the measure,
	E4 HOMA	Description, evidence, and date of corrective actions taken.
(3) Stormwater	At least once per	Identification of the discharge outfalls inspected,
discharge	7 calendar days	Date and time of the inspection.
•	and within 24	•
outfalls (SDOs)	hours of a rain	3. Name of the person performing the inspection.
		4. Evidence of Indicators of Stormwater politition such as oil
	event ≥ 1.0 inch in 24 hours	sheen, floating or suspended solids or discoloration,
	24 110015	Indication of visible sediment leaving the site, Description, evidence, and date of corrective actions taken.
(4) Perimeter of	At least once per	If visible sedimentation is found outside site limits, then a recore
site	7 calendar days	of the following shall be made:
11, 11, 11, 11, 11	and within 24	Actions taken to clean up or stabilize the sediment that has keep to be a sediment
	hours of a rain	the site limits.
	event > 1.0 inch in	Description, evidence, and date of corrective actions taken, a
	24 hours	Description, evidence, and date of corrective actions taken, a An explanation as to the actions taken to control future
	24 110813	releases.
IF) Ch		If the stream or wetland has increased visible sedimentation or
(5) Streams or wetlands onsite	At least once per	
or offsite	7 calendar days and within 24	stream has visible increased turbidity from the construction
	hours of a rain	activity, then a record of the following shall be made:
(where		Description, evidence and date of corrective actions taken, a
accessible)	event ≥ 1.0 inch in	2. Records of the required reports to the appropriate Division
(C) Commed	24 hours	Regional Office per Part III, Section C, Item (2)(a) of this perm
(6) Ground	After each phase	The phase of grading (installation of perimeter E&SC
stabilization	of grading	measures, clearing and grubbing, installation of storm
measures	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	drainage facilities, completion of all land-disturbing
		activity, construction or redevelopment, permanent
********		ground cover).
		Documentation that the required ground stabilization
	1	measures have been provided within the required
	ŀ	timeframe or an assurance that they will be provided as
	ŀ	soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The all times during normal business hours.

ne n	oted in the inspection Record.		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	
oc m	in the hispection record.		Item to Document	Documentation Re
))	Inspection records must include: Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day raintall information is available, record the cumulative rain measurement for those Unattended days (and this will determine if a site inspection is		(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC pian.	Initial and date each E&SC of the approved E&SC plan and sign an inspection report E&SC measure shown on the plan. This documentation initial installation of the E&SC measures are more than a sign o
	needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.		(b) A phase of grading has been completed.	installation. Initial and date a copy of the
er	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection,			plan or complete, date and report to indicate completi construction phase.
hin er	4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken. 1. Identification of the discharge outfalls inspected,		(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the plan or complete, date and report to indicate compliar ground cover specifications
s h in	Date and time of the inspection. Name of the person performing the inspection. Evidence of Indicators of Stormwater pollution such as oil sheen, floating or suspended solids or discoloration,		(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign ar
er S	5. Indication of visible sediment feaving the site, 6. Description, evidence, and date of corrective actions taken. If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits.		(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the plan or complete, date and report to indicate the componentive action.
h in	Description, evidence, and date of corrective actions taken, and An explanation as to the actions taken to control future releases. If the stream or wetland has increased visible sedimentation or a		2. Additional Documentation to be Kept on Site	sh a fallaccina itawa ahall ha laar
er s hin	stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division		In addition to the E&SC plan documents above, t site and available for inspectors at all times durin Division provides a site-specific exemption based this requirement not practical:	ng normal business hours, unles
se	Regional Office per Part III, Section C, Item (2)(a) of this permit. 1. The phase of grading (installation of perimeter E&SC		(a) This General Permit as well as the Certificate	e of Coverage, after it is receive

iless the nat make

record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown

of three years after project completion and made available upon request. [40 CFR 122.41]

1. E&SC Plan Documentation

following items pertaining to the E&SC plan shall be kept on site and available for inspection at

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

ept on the

(b) Records of inspections made during the previous twelve months. The permittee shall to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period

SELF-INSPECTION. RECORDKEEPING AND REPORTING SECTION C: REPORTING L. Occurrences that Must be Reported Permittees shall report the following occurrences: (a) Visible sediment deposition in a stream or wetland. (b) Oil spills if: They are 25 gallons or more, • They are less than 25 gallons but cannot be cleaned up within 24 hours, They cause sheen on surface waters (regardless of volume), or

c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

• They are within 100 feet of surface waters (regardless of volume).

(d) Anticipated bypasses and unanticipated bypasses.

(e) Noncompliance with the conditions of this permit that may endanger health or the environment.

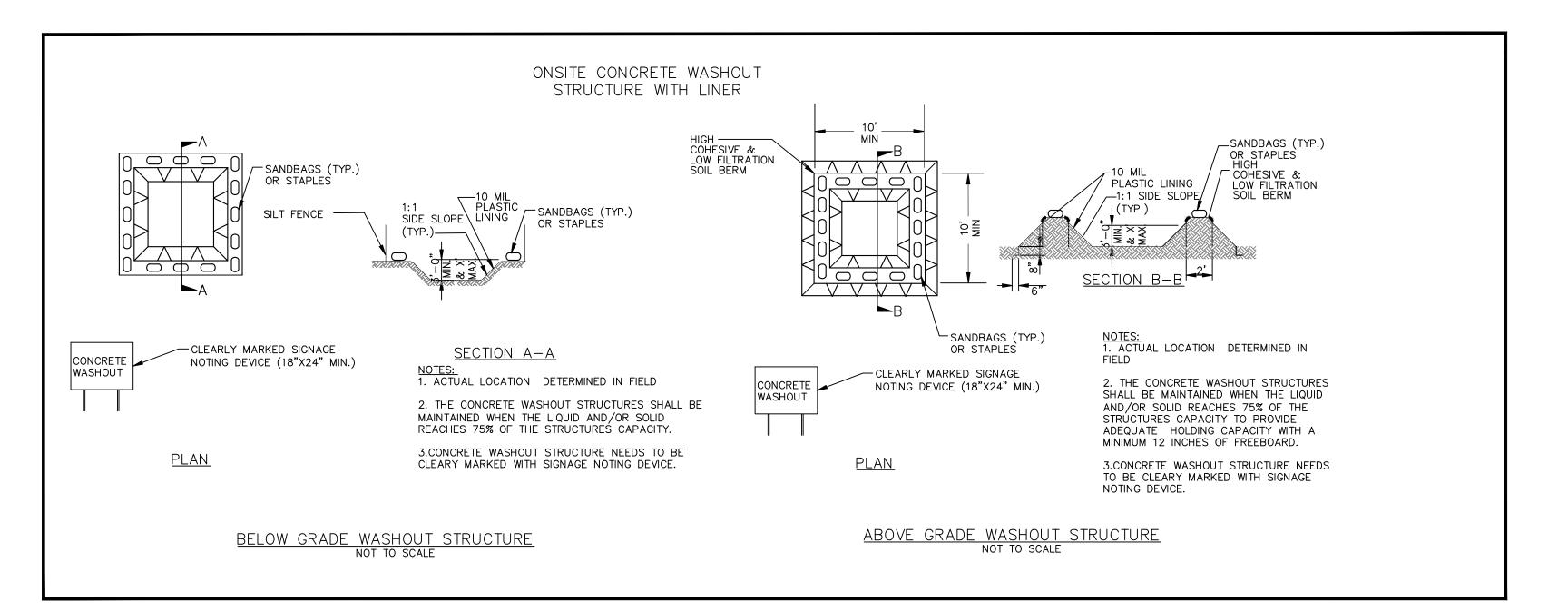
(a) Visible sediment • Within 24 hours, an oral or electronic notification.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Reporting Timeframes (After Discovery) and Other Requirements

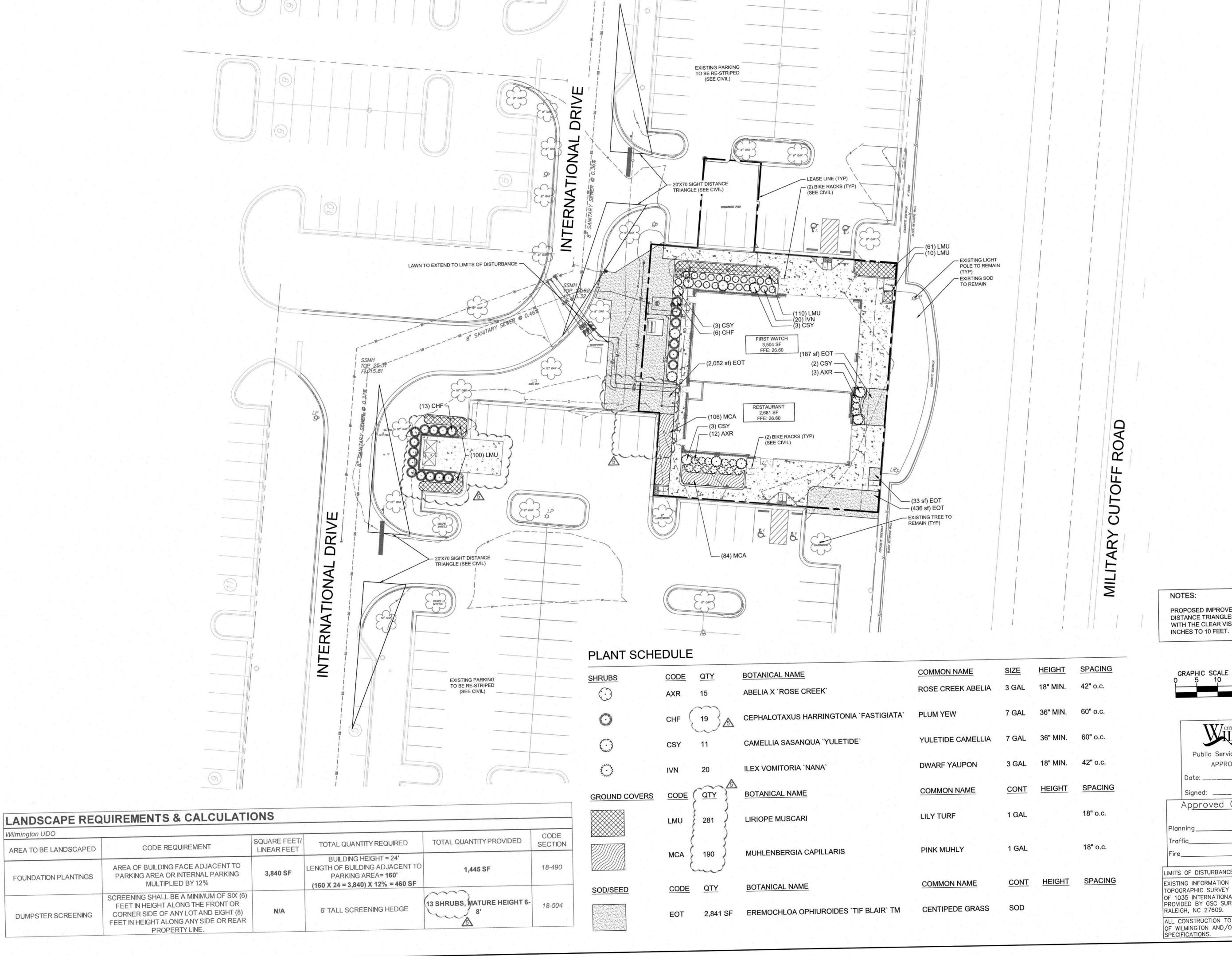
(,	Total and the control of the control
deposition in a stream or wetland	 Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated	A report at least ten days before the date of the bypass, if possible.
bypasses [40 CFR 122.41(m)(3)]	The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated	Within 24 hours, an oral or electronic notification.
bypasses [40 CFR 122.41(m)(3)]	Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance	Within 24 hours, an oral or electronic notification.
with the conditions of this permit that may endanger health or the environment[40 CFR 122.41(I)(7)]	 Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(I)(6). Division staff may waive the requirement for a written report on a case-by-case basis.



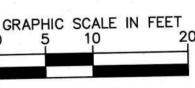
- **CONCRETE WASHOUTS** . Do not discharge concrete or cement slurry from the site.
- 2. Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- 3. Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot
- 4. Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- 5. Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- . Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location. Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components
- when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions. 10. At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

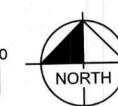
	IV /CITY OF				
Public Services • Engineering Division					
	APPROVED DRAINAGE PLAN				
	Date: Permit #				
	Signed:				
	Ap <u>proved Construction Pl</u> an				
	<u>Name</u> <u>Date</u>				
Plar	Planning				
Traf	Traffic				
OF WIL	ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.				

PR



PROPOSED IMPROVEMENTS WITHIN THE SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH THE CLEAR VISUAL SIGHT LINES FROM 30





	WILMINGTON NORTH CAROLINA
	Public Services • Engineering Division
	APPROVED DRAINAGE PLAN
	Date: Permit #
١	

Date:	Permit #	
Signed:		
Approved	Construction	<u>Pl</u> ar
1	Name	Da

LIMITS OF DISTURBANCE: 0.45 ACRES EXISTING INFORMATION SHOWN TAKEN FROM TOPOGRAPHIC SURVEY TITLED: "TOPOGRAPIC SURVEY OF 1035 INTERNATIONAL DRIVE" DATED MAY 22, 2019 PROVIDED BY GSC SURVEYING OF 4070 BARRETT DRIVE,

RALEIGH, NC 27609. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

SHEET NUMBER L1.0

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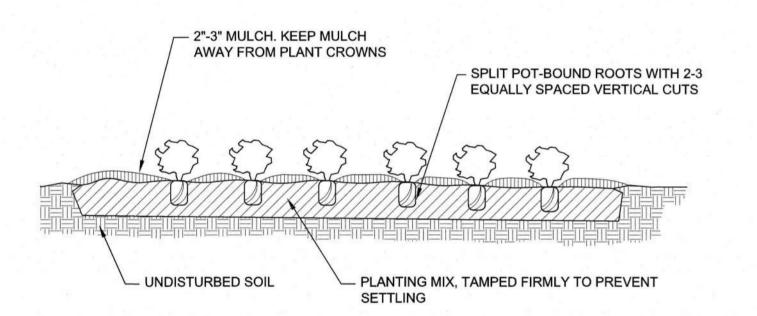
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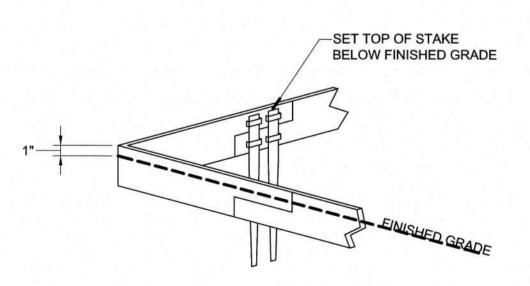
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PLANT SPACING NOTES:

- SEE PLANTING PLAN FOR SHRUB AND GROUNDCOVER AREAS.
- PLANT MATERIAL SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
- SEE PLANTING PLAN AND PLANT SCHEDULE FOR PLANT SPACING REQUIREMENTS.
- TYPICAL STAGGERED ROW PLANT SPACING



TYPICAL GROUNDCOVER PLANTING

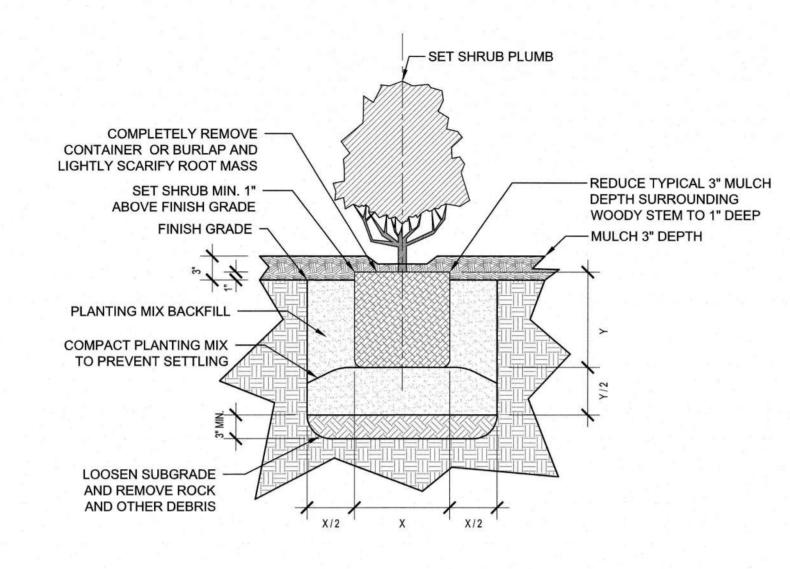


STEEL LANDSCAPE EDGING PRODUCT DATA:

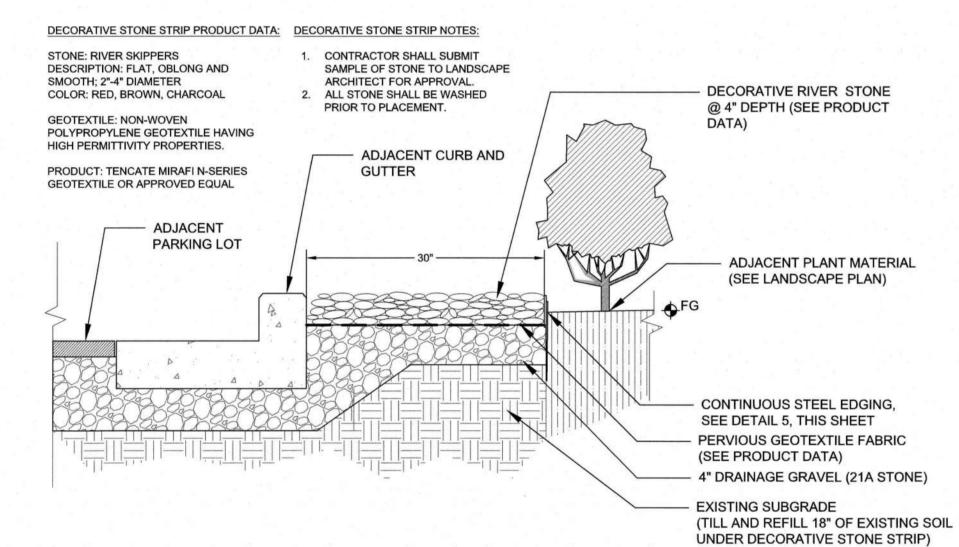
MANUFACTURER: BORDER CONCEPTS, INC. PRODUCT: BORDER GUARD WITH STANDARD STAKES SIZE: 3/16" THICKNESS X 6" HEIGHT COLOR: **BLACK**

USE UNIVERSAL CORNERS AND TREE RINGS PIECES AS NECESSARY

TEEL LANDSCAPE EDGING



TYPICAL SHRUB PLANTING





GENERAL LANDSCAPE NOTES:

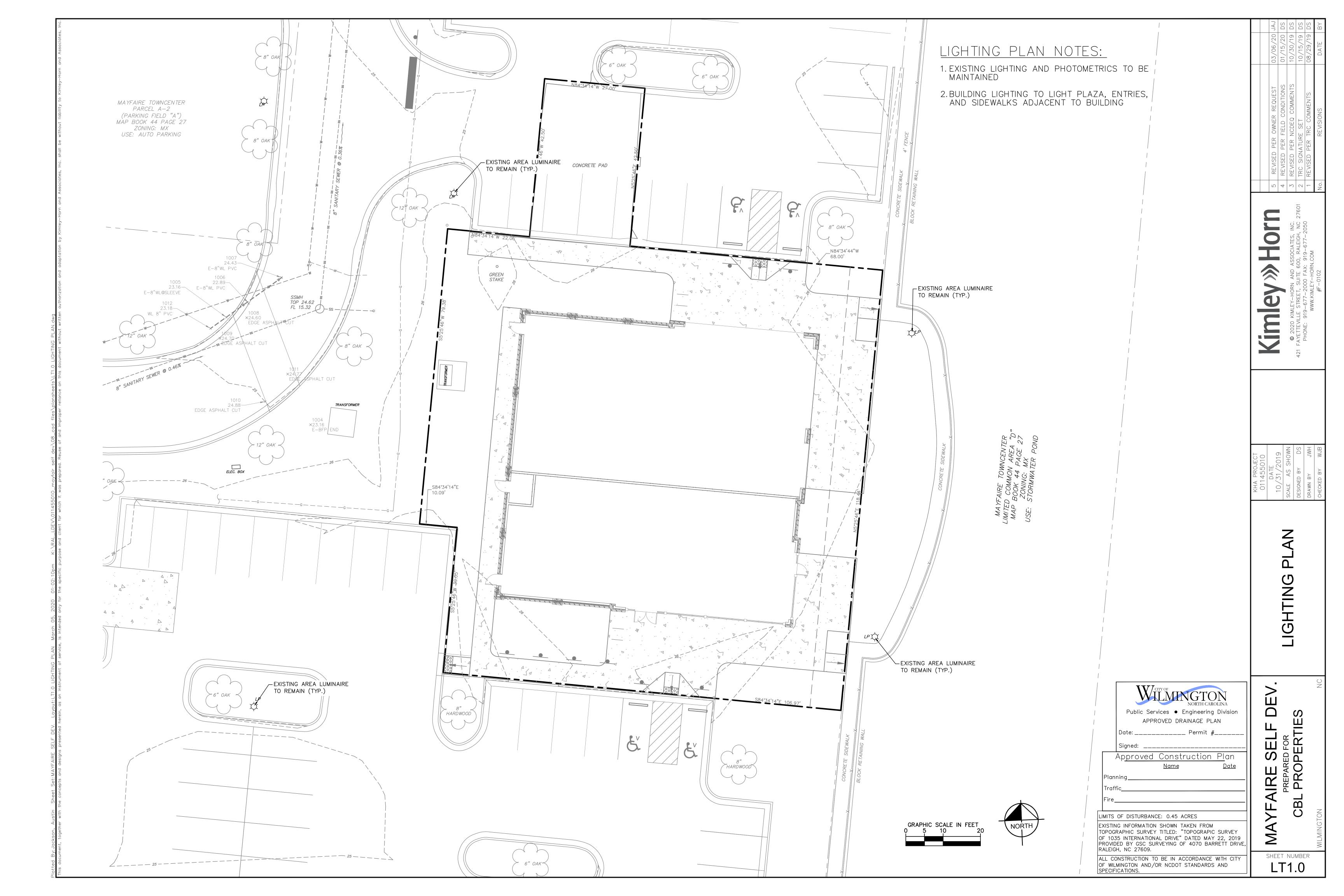
- 1. ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- 2. ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT
- 3. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- 4. ALL EXISTING SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6'-7' PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES. ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- 6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS. ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, MOWING, EDGING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL FINAL ACCEPTANCE.
- 8. THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- 9. THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANTING BEDS AND SOD LINES PRIOR TO INSTALLATION.
- 10. ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- 11. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- 12. ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES.
- 13. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- 14. THE ROOT FLAIR SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- 15. ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- 16. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- 18. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND TO RAKE ENTIRE
- 19. THE CONTRACTOR SHALL INSTALL PERMEABLE BLACK GEOTEXTILE FABRIC UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.
- 20. CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER SODDING AND PLANTING SHRUBS, AND 60 DAYS AFTER SEEDING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STAND OF THE SPECIFIED GRASSES, OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL ACCEPTANCE OF THE LAWNS AND SHRUBS, WHICHEVER IS LATER.
- 21. ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
- 22. WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE NEW HANOVER COUNTY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
- 23. THE SIZE OF THE PLANTING AREA AND OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A TWO AND ONE-HALF FEET WIDE BUMPER OVERHANG MEASURED FROM THE BACK OF CURB.
- 24. ALL ABOVE-GROUND EQUIPMENT ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS, OR SIMILAR UTILITY SHALL BE SCREENED, TO THE EXTENT PRACTICAL, WITH EVERGREEN PLANTS. PLANTINGS SHALL ALLOW A MINIMUM OF FIVE FEET OF CLEARANCE AROUND THE STRUCTURE WITH TEN FEET OF CLEARANCE ON ANY SIDE CONTAINING A DOOR ALLOW ACCESS FOR MAINTENANCE. THE CLEARANCES SHALL ACCOUNT FOR THE MATURE SIZE OF THE PLANT MATERIAL.

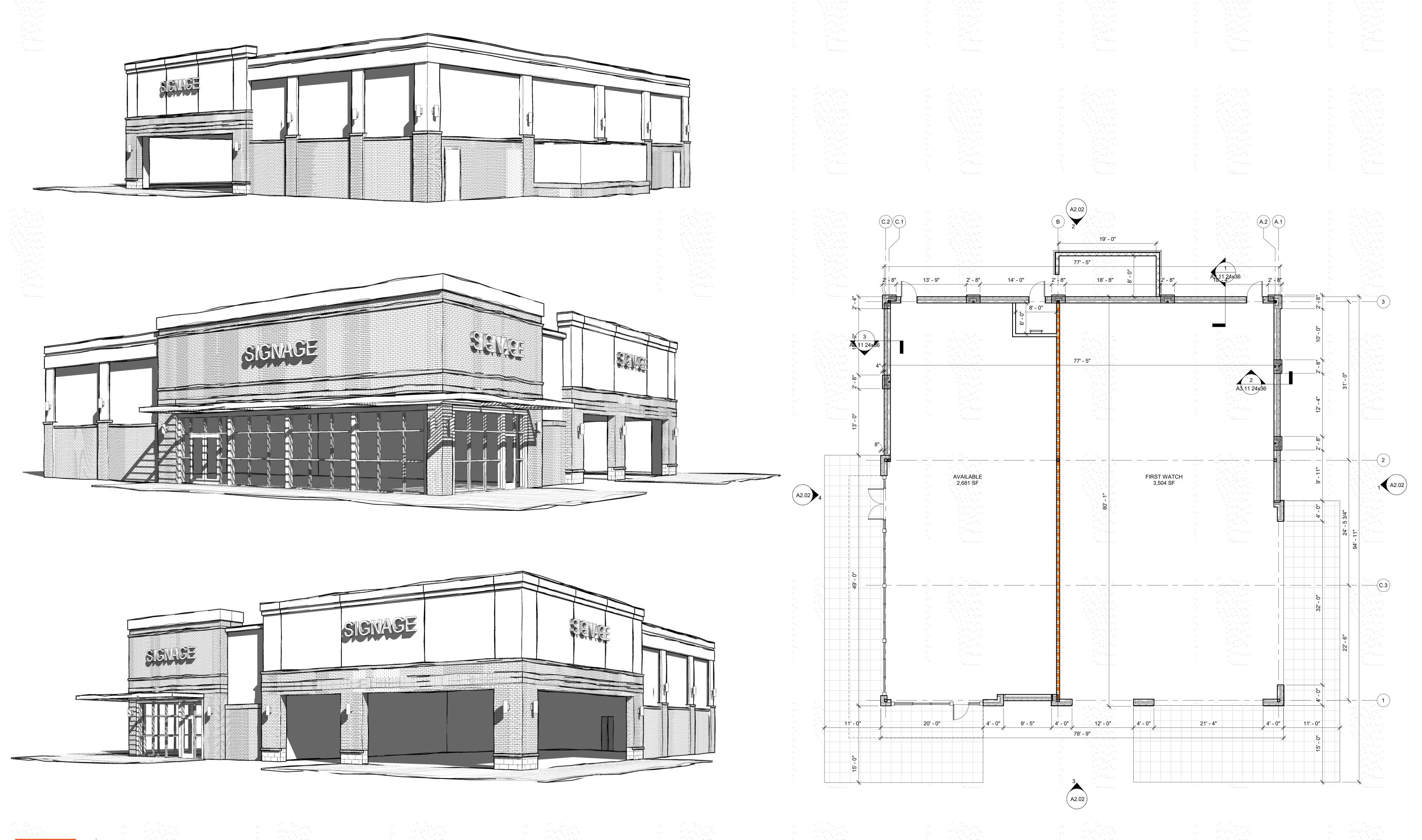
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SHEET NUMBER

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Public Services • Engineering Division APPROVED DRAINAGE PLAN Approved Construction Plan



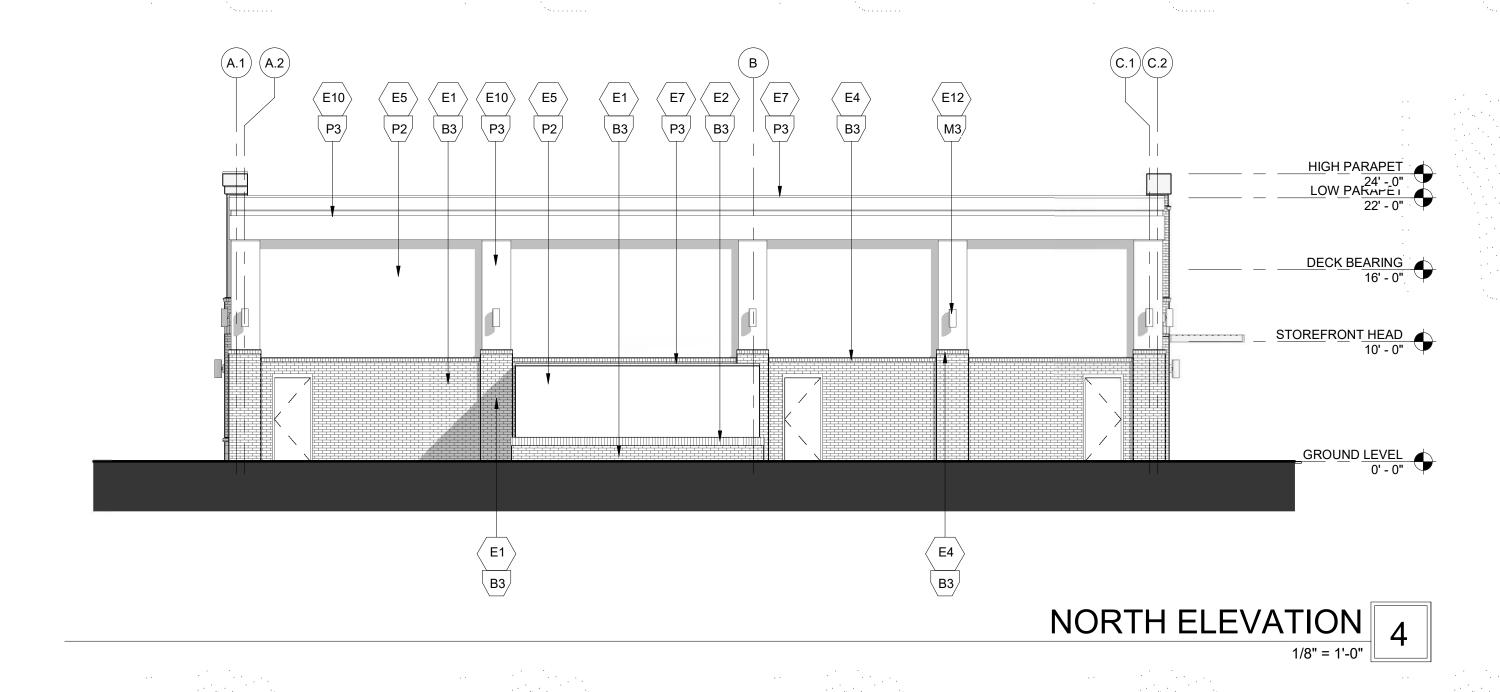


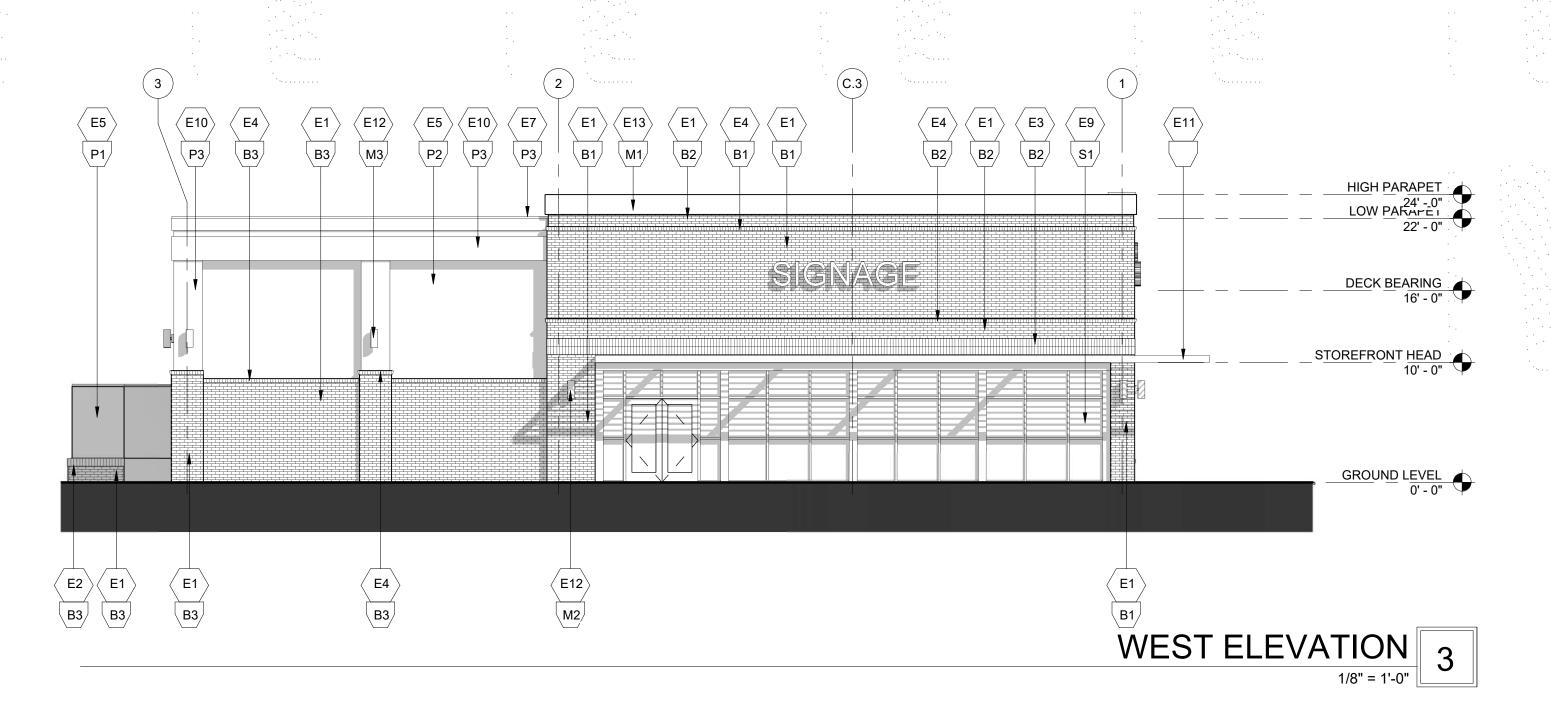


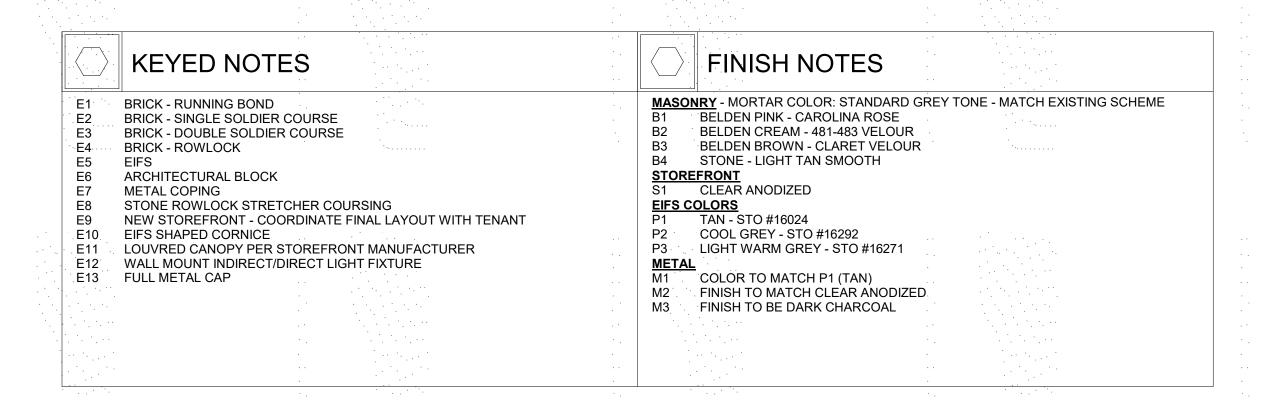
MAYFAIRE RETAIL

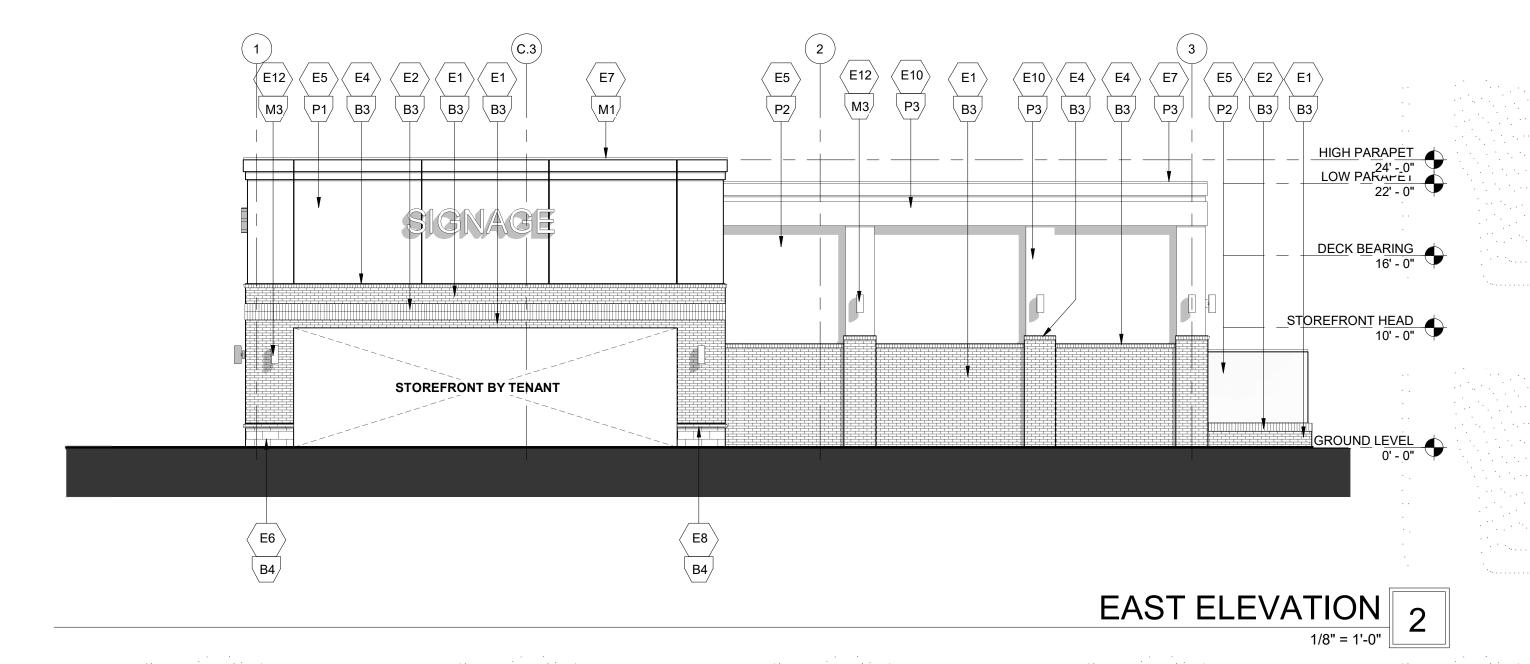
WILMINGTON, NC

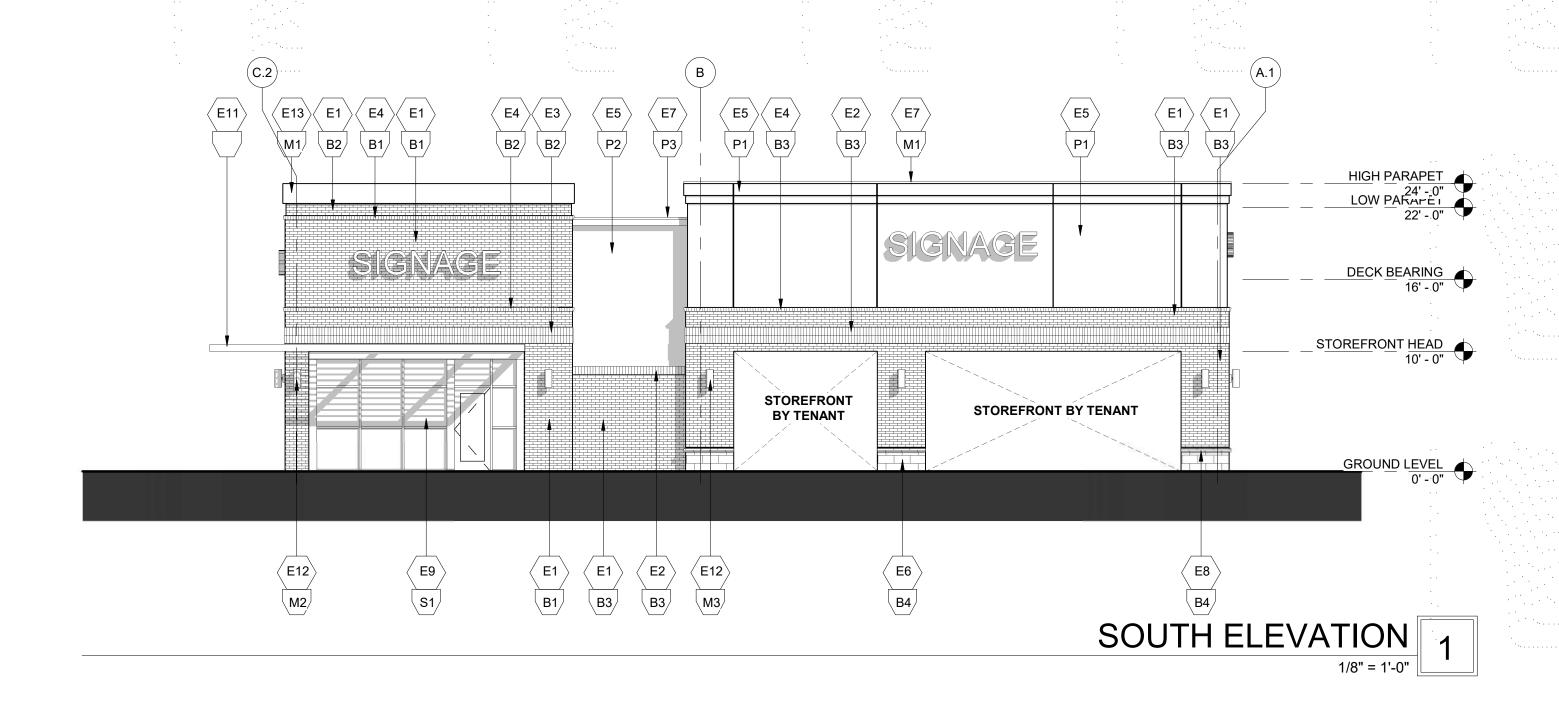
SD1













MAYFAIRE RETAIL

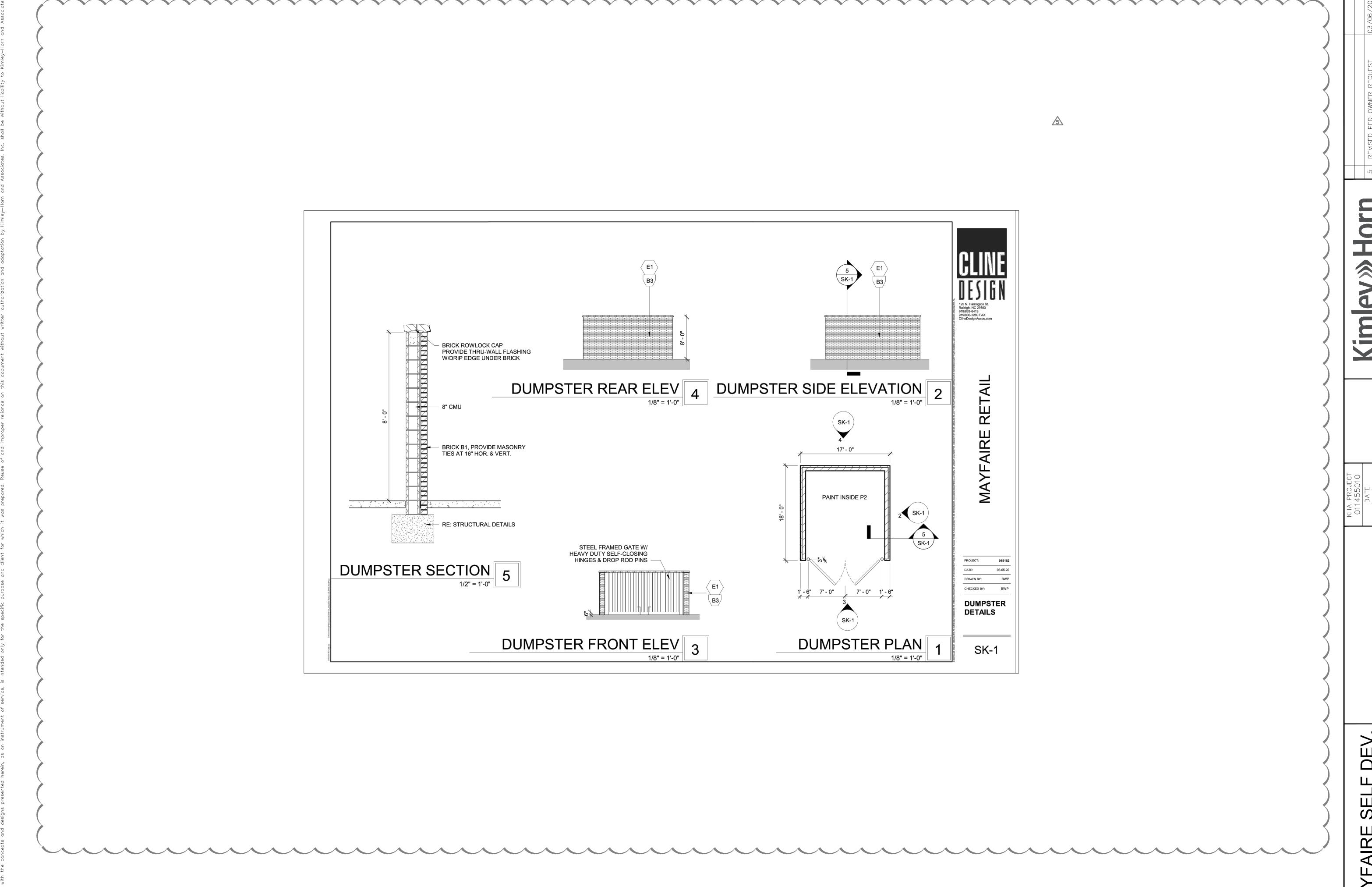
WILMINGTON, NC

CONCEPT 1

As indicated

018152 | 06.28.2019

SD2



KIMLEY-HORN AND ASSOCIATES, INC.

3 REVISE
3 REVISE
3 REVISE
3 REVISE
3 19-677-2000 FAX: 919-677-2050
1 REVISEI

DATE
10/31/2019
SCALE AS SHOWN
DESIGNED BY DS
DRAWN BY JWH

DUMPSTER DETAILS

MAYFAIRE SELF DEV.
PREPARED FOR
CBL PROPERTIES