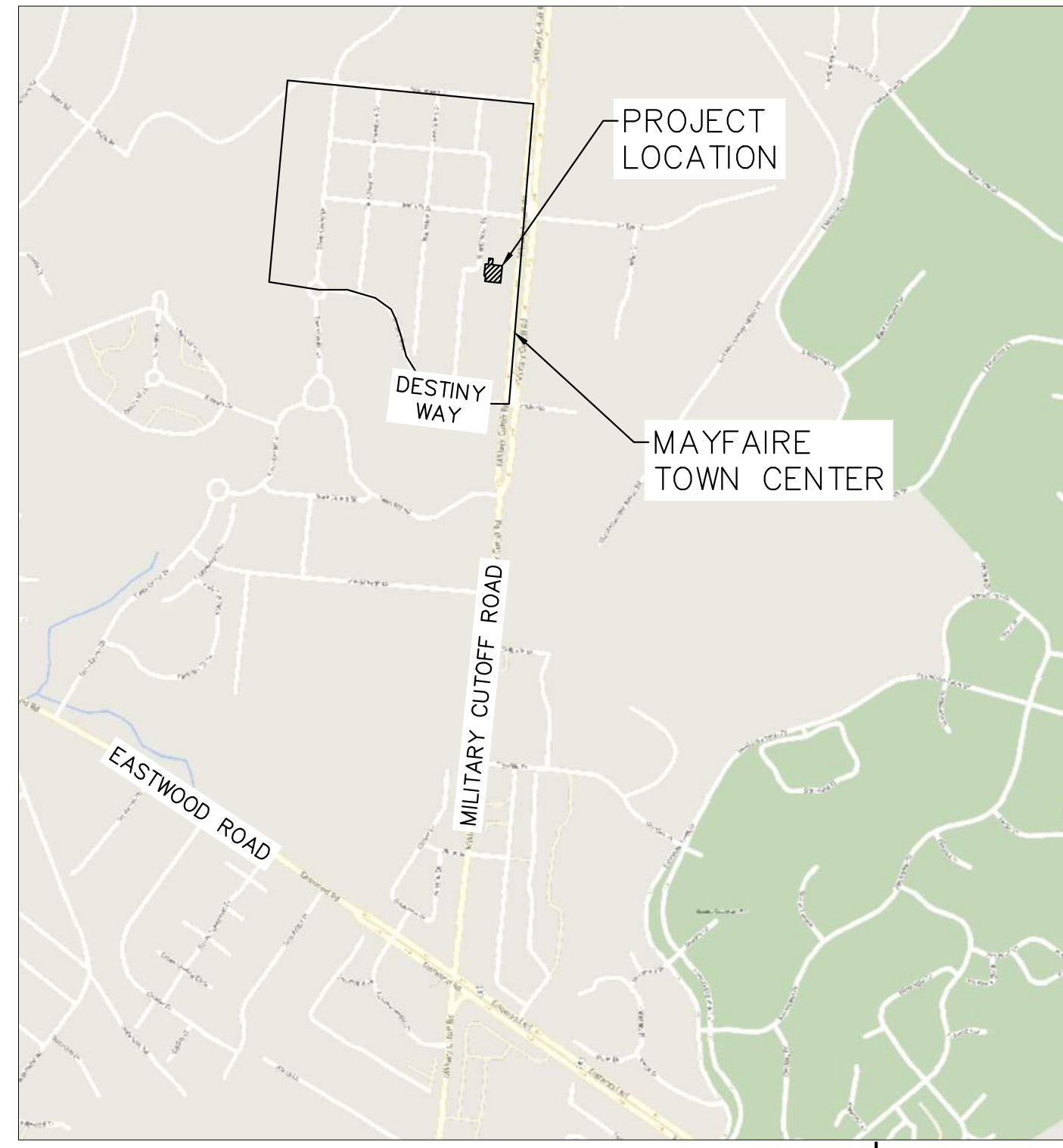


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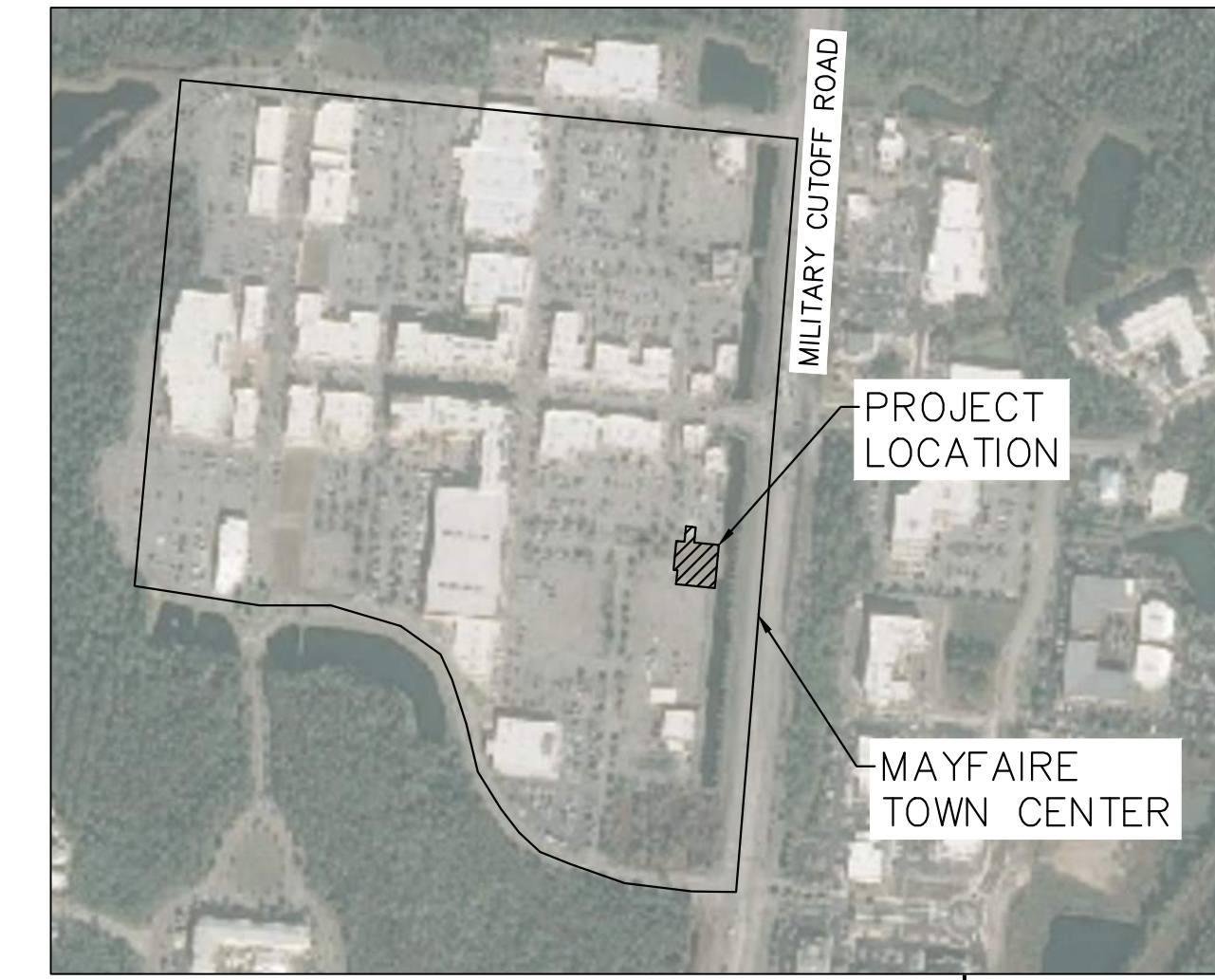
PROJECT LOCATION  
1"=1000'

# CONSTRUCTION DRAWINGS FOR: MAYFAIRE SELF DEV.

1035 INTERNATIONAL DRIVE  
WILMINGTON, NORTH CAROLINA 28405

A DEVELOPMENT BY: CBL PROPERTIES

2030 HAMILTON PLACE BOULEVARD  
SUITE 500  
CHATTANOOGA, TN 37421



VICINITY MAP  
1"=500'

## CONTACTS

- OWNER:** CBL PROPERTIES  
2030 HAMILTON STREET, SUITE 500  
CHATTANOOGA, TN 37421  
PHONE: (423) 855-0001  
ATTN.: JEFF ALLEN
- ARCHITECT:** CLINE DESIGN  
125 NORTH HARRINGTON STREET  
RALEIGH, NC 27603  
PHONE: (919) 833-6413  
ATTN.: BRETT POWELL
- CIVIL ENGINEER:** KIMLEY-HORN AND ASSOCIATES, INC.  
421 FAYETTEVILLE STREET, SUITE 600  
RALEIGH, NORTH CAROLINA 27601  
PHONE: (919) 653-2927  
ATTN.: JORDAN BREWER, PE  
JORDAN.BREWER@KIMLEY-HORN.COM
- SURVEYOR:** GSC SURVEYING  
4072 BARRETT DRIVE  
RALEIGH, NC 27609  
PHONE: 919-787-5805  
ATTN: CHARLES H. SMITH, LS, PLS

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER SHEET
C0.1	GENERAL NOTES
C1.0	EXISTING CONDITIONS AND DEMOLITION PLANS
C2.0	CONTEXTUAL & SITE INVENTORY PLAN
C2.1	SITE PLAN
C3.0	GRADING, UTILITY, AND EROS. CONTROL PLAN
C4.0	SITE DETAILS
C4.1	SITE DETAILS
C5.0	UTILITY DETAILS
C5.1	UTILITY DETAILS
C6.0	EROSION CONTROL DETAILS
C6.1	EROSION CONTROL DETAILS
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS
LT1.0	LIGHTING PLAN
SD1	ARCHITECTURAL CONCEPT 1
SD2	ARCHITECTURAL CONCEPT 1
SK-1	DUMPSTER DETAILS

### REVISION NARRATIVE:

REVISION NUMBER 5 HAS RELOCATED THE DUMPSTER ENCLOSURE TO THE WESTERN PARKING LOT EDGE TO ACCOMMODATE A REQUEST FROM THE CLIENT. NO ADDITIONAL LAND DISTURBANCE IS PROPOSED AS PART OF THIS CHANGE AS THE DISTURBED AREA HAS MOVED LOCATIONS. THE SHEETS IMPACTED BY THIS CHANGE ARE AS FOLLOWS:

1. C0.0 - COVER SHEET
2. C1.0 - EXISTING CONDITIONS AND DEMOLITION PLANS
3. C2.1 - SITE PLAN
4. C3.0 - GRADING, UTILITY, AND EROS. CONTROL PLAN
5. L1.0 - LANDSCAPE PLAN
6. L2.0 - LANDSCAPE DETAILS

IN ADDITION A NEW SHEET SK-1 - DUMPSTER DETAILS HAS BEEN ADDED THAT INCORPORATES THE DUMPSTER PAD AND SCREENING WALL DESIGN FROM CLINE DESIGN LOCATED AT 125 N. HARRINGTON ST. RALEIGH, NORTH CAROLINA 27603. PHONE: (919) 833-6413.

Approved Construction Plan			
Planning _____	Name _____	Date _____	Public Services • Engineering Division
Traffic _____	Date: _____ Permit # _____		APPROVED DRAINAGE PLAN
Fire _____	Signed: _____		

No.	REVISIONS	DATE	BY
5	REVISED PER OWNER REQUEST	03/06/20	JAU
4	REVISED PER FIELD CONDITIONS	01/15/20	DS
3	REVISED PER NCDOT COMMENTS	10/30/19	DS
2	TRC SIGNATURE SET	10/15/19	DS
1	REVISED PER TRC COMMENTS	08/29/19	DS

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#-0102

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
011455010	10/31/2019	AS SHOWN	DS	JWH	WJB

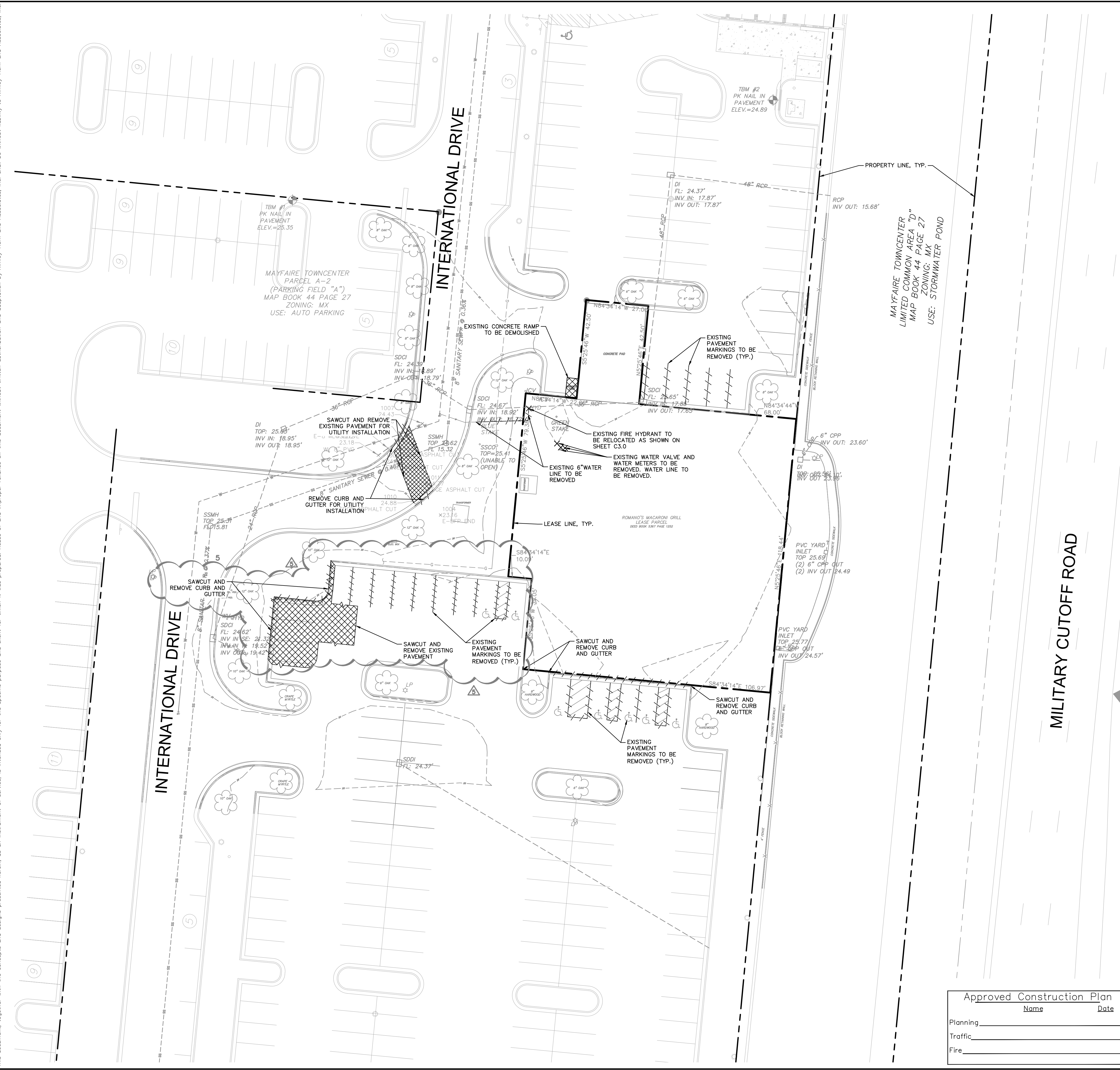
COVER SHEET

MAYFAIRE SELF DEV.  
PREPARED FOR  
CBL PROPERTIES

WILMINGTON NC  
SHEET NUMBER  
CO.0

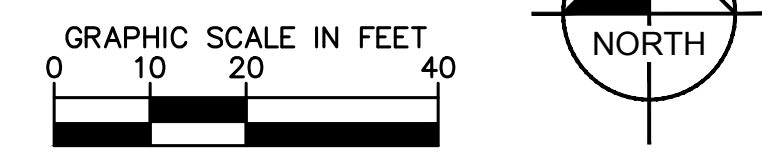


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DEMOLITION LEGEND	
	LEASE LINE
	SAWCUT
	DEMOLISH SITE ITEM
	DEMOLISH SITE ITEM
	DEMOLISH SITE ITEM
	SIDEWALK/PAVEMENT TO BE REMOVED

LEGEND	
	IRON ROD OR REBAR FOUND
	NAIL FOUND
	FIRE HYDRANT
	IRRIGATION CONTROL VALVE
	WATER VALVE
	WATER METER
	LIGHT POLE
	SANITARY SEWER LINE
	BOLLARD
	SIGN
	CATCH BASIN
	GAS VALVE
	GAS METER
	GAS LINE (AS MARKED)
	TREE W/SIZE
	EDGE OF ASPHALT PAVEMENT CURB & GUTTER



NO.	REVISIONS	DATE
5	REVISED PER OWNER REQUEST	03/06/20 JAL
4	REVISED PER FIELD CONDITIONS	01/15/20 DS
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2	TRC SIGNATURE SET	10/15/19 DS
1	REVISED PER TRC COMMENTS	08/29/19 DS

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KHA PROJECT	011455010
DATE	10/31/2019
SCALE	AS SHOWN
DESIGNED BY	DS
DRAWN BY	JWH
CHECKED BY	WJB

**EXISTING CONDITIONS AND DEMOLITION PLANS**

**MAYFAIRE SELF DEV. PREPARED FOR CBL PROPERTIES**  
 WILMINGTON, NC  
 SHEET NUMBER **C1.0**

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

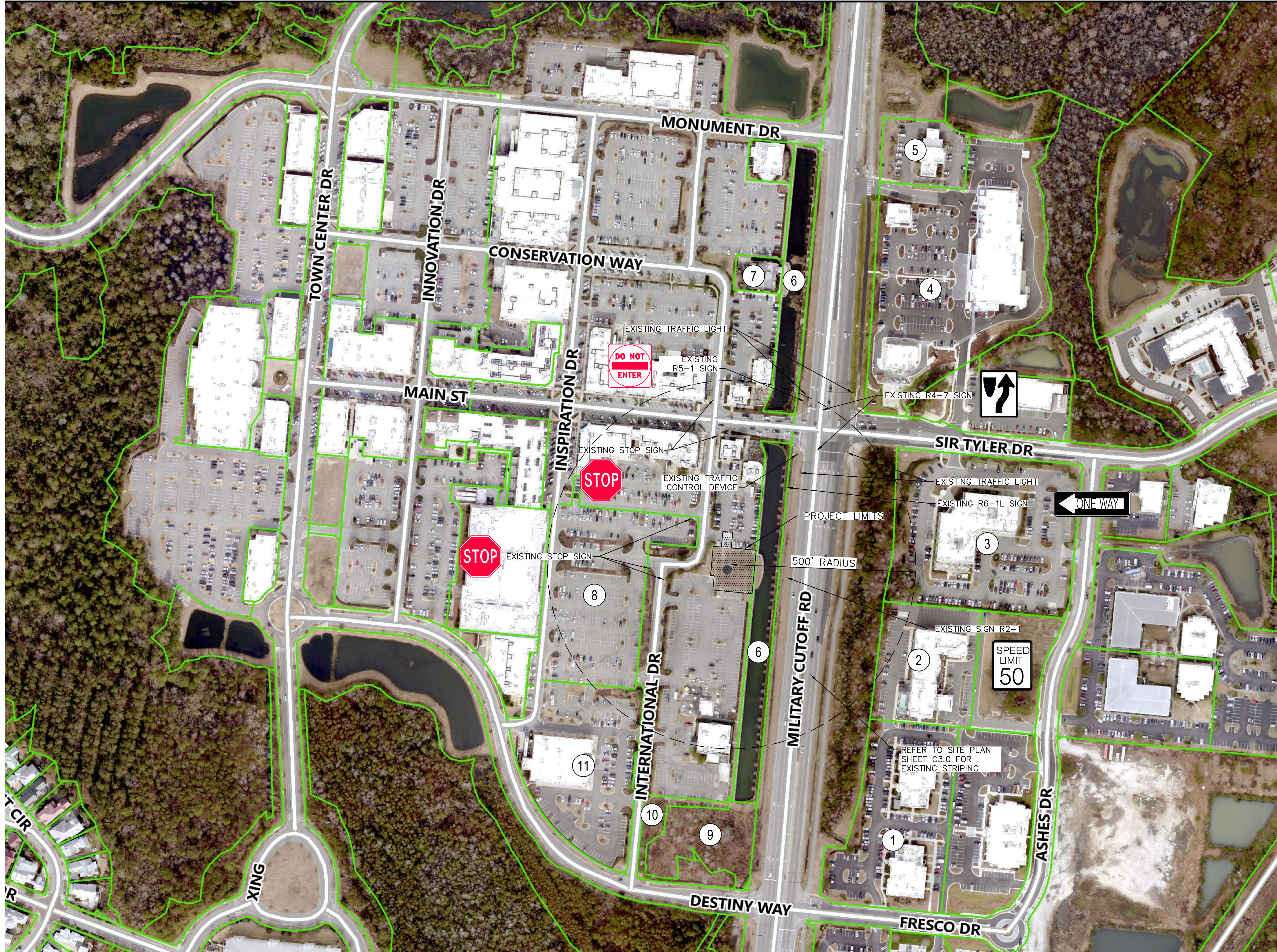
**WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

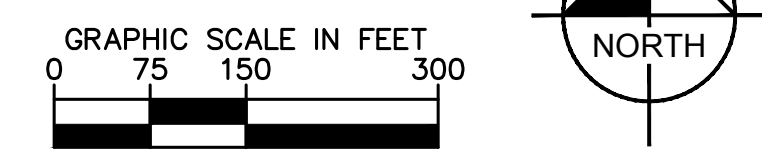
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 EXISTING INFORMATION SHOWN TAKEN FROM TOPOGRAPHIC SURVEY TITLED: "TOPOGRAPHIC SURVEY OF 1035 INTERNATIONAL DRIVE" DATED MAY 22, 2019 PROVIDED BY GSC SURVEYING OF 4070 BARRETT DRIVE, RALEIGH, NC 27609.  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Plotted By: Jackson, Austin - Sheet Set: MAYFAIRE SELF DEV - Layout: C2.0 CONTEXTUAL SITE PLAN - March 05, 2020 - 01:00:40pm - K:\V\AL\DEV\1455010\_mayfair\_self\_dev\08\_cod\_files\plan\sheet\C2.0 CONTEXTUAL SITE PLAN.dwg  
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SITE LEGEND	
	PROPERTY LINE

ADJACENT PROPERTY OWNERS				
KEY	OWNER (N/F)	PARCEL ID	ZONING	LAND USE
1	RENAISSANCE COURTYARD LLC	R05100-003-092-000	CB	730-BUSINESS
2	PHR WNC LLC	R05100-003-066-000	O&I	701-RESIDENTIAL HOTEL
3	WRP OFFICE PARK ASSOCIATION	R05100-003-067-000	O&I	OAC-OWNERS ASSOCIATION COMMON AREA
4	HRP RENAISSANCE MARKET LLC	R05100-003-095-000	CB	541-GROCERIES RETAIL CONV.
5	AQUESTA BANK	R05100-003-093-000	O&I	601-FINANCES BANK
6	MAYFAIRE COMMUNITY ASSN (HOA)	R05000-003-030-000	MX	961-CONDOMINIUM COMMON AREA
7	CBL & ASSOCIATES MANAGEMENT INC.	R05000-003-292-000	MX	584-EATING PLACE W/ ALCOHOL
8	MAYFAIRE TOWN CENTER LP	R05000-003-016-000	MX	752-AUTO PARKING
9	MAYFAIRE TOWN CENTER LP	R05000-003-197-000	MX	958-UNUSED LAND
10	MAYFAIRE TOWN CENTER LP	R05000-003-130-000	MX	958-UNUSED LAND
11	MAYFAIRE TOWN CENTER LP	R05000-003-129-000	MX	541-GROCERIES RETAIL CONV.



**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

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No.	REVISIONS	DATE	BY
5	REVISED PER OWNER REQUEST	03/06/20	JAL
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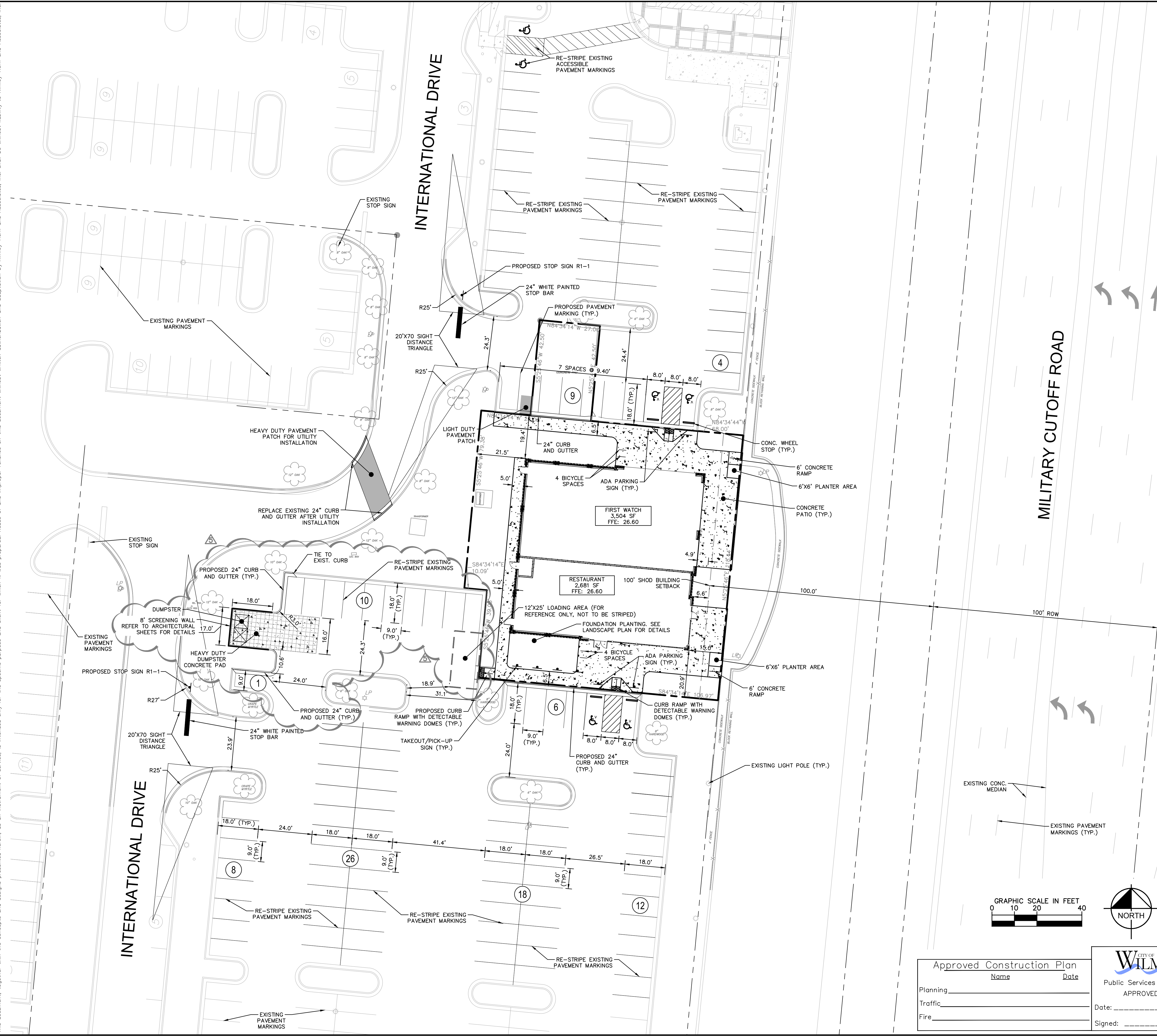
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KHA PROJECT 011455010  
 DATE 10/31/2019  
 SCALE AS SHOWN  
 DESIGNED BY DS  
 DRAWN BY JWH  
 CHECKED BY WJB

## CONTEXTUAL & SITE INVENTORY PLAN

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**  
 WILMINGTON NC  
 SHEET NUMBER  
**C2.0**

Plotted By: Jackson, Austin Sheet Set: MAYFAIRE SELF DEV. Layout: C3.0 SITE PLAN March 05, 2020 01:00:52pm K:\V\AL-DEVA\011455010\_mayfair self dev\05-03-20\01-00-52.dwg files\plansheets\C3.0 SITE PLAN.dwg  
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SITE LEGEND	
	LEASE LINE
	24" CURB AND GUTTER
	PARKING SPACE COUNT
	SIGN (SEE PLAN)
	ACCESSIBLE PARKING MARKING
	ACCESSIBLE RAMP WITH DETECTABLE WARNINGS
	HEAVY DUTY CONCRETE
	CONCRETE SIDEWALK

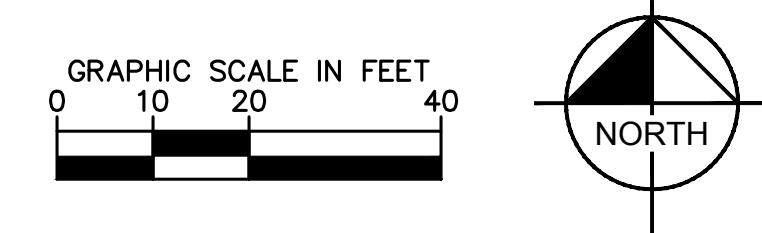
SITE DATA	
<b>PROJECT INFORMATION</b>	
PROJECT NAME:	MAYFAIRE SELF DEVELOPMENT
PROJECT ADDRESS:	1035 INTERNATIONAL DRIVE, WILMINGTON, NC 28405
OWNER:	CBL PROPERTIES
JURISDICTION:	WILMINGTON
PIN #'S:	R05000-003-014-000
CAMA LAND USE CLASSIFICATION:	WATERSHED RESOURCE PROTECTION AREA
<b>SITE SIZE &amp; COVERAGES</b>	
TOTAL ACREAGE:	0.34 ACRES (LEASE LINE)
DISTURBED AREA:	0.45 ACRES
GROSS BUILDING SQUARE FOOTAGE:	6,185 SF
BUILDING CONSTRUCTION TYPE:	IIB
NO. OF STORIES & BUILDING HEIGHT:	1 STORY - 24' 0"
NO. OF PROPOSED BUILDINGS:	1
BUILDING LOT COVERAGE:	6,185 SF/14,593 SF = 0.42
EXISTING TOTAL ONSITE IMPERVIOUS AREA:	11,191 SF (1,207 SF TO REMAIN)
PROPOSED TOTAL ONSITE IMPERVIOUS AREA:	11,187 SF (9,980 SF NEW)

ZONING	
EXISTING ZONING:	MX (MIXED USE)
PROPOSED ZONING:	MX (MIXED USE)
EXISTING USE:	RESTAURANT
PROPOSED USE:	RESTAURANT
<b>SETBACKS</b>	
FRONT REQUIRED:	100' (SPECIAL HIGHWAY OVERLAY DISTRICT)
SIDE REQUIRED:	N/A
REAR REQUIRED:	N/A
FRONT PROPOSED:	106.6'
SIDE PROPOSED:	N/A
REAR PROPOSED:	N/A

OFF-STREET PARKING	
PROPOSED USE:	RESTAURANT
REQUIRED PARKING:	NO PARKING MINIMUM IN THE MX DISTRICT
PROVIDED PARKING:	94 SPACES (INCLUDING 4 ACCESSIBLE SPACES)
REQUIRED BICYCLE PARKING:	5 SPACES
PROVIDED BICYCLE PARKING:	8 SPACES
<b>UTILITIES</b>	
WATER CURRENT USE (GPD):	10,560 BASED ON 40 GAL/SEAT @ 260 SEATS
WATER PROPOSED USE (GPD):	10,560 BASED ON 40 GAL/SEAT @ 260 SEATS
SEWER CURRENT USE (GPD):	8,240 BASED ON 40 GAL/SEAT @ 206 SEATS
SEWER PROPOSED USE (GPD):	8,240 BASED ON 40 GAL/SEAT @ 206 SEATS

**NOTES:**  
 PROPOSED IMPROVEMENTS WITHIN THE SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH THE CLEAR VISUAL SIGHT LINES FROM 30 INCHES TO 10 FEET.

- FIRE AND LIFE SAFETY NOTES:**
- HYDRANT MUST BE WITHIN 150' OF THE FDC (MEASURED AS THE TRUCK DRIVES FOR PRACTICAL USE)
  - FDC MUST BE WITHIN 40' OF FIRE APPARATUS PLACEMENT
  - PRIVATE UNDERGROUND FIRE LINES REQUIRE A SEPARATE UNDERGROUND FIRE LINE PERMIT FROM THE WILMINGTON FIRE AND LIFE SAFETY DIVISION 910-343-0696
  - CONTRACTOR SHALL MAINTAIN AN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION
  - LANDSCAPING OR PARKING CANNOT BLOCK OR IMPEDE FIRE HYDRANTS. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT
  - ADDITIONAL FIRE PROTECTION AND/OR ACCESSIBILITY REQUIREMENTS MAY BE REQUIRED DUE TO ANY SPECIAL CIRCUMSTANCES CONCERNING THE PROJECT.
  - CONTRACTOR SHALL SUBMIT A RADIO SIGNAL STRENGTH STUDY FOR ALL COMMERCIAL BUILDINGS THAT DEMONSTRATES THAT EXISTING EMERGENCY RESPONDER RADIO SIGNAL LEVELS MEET THE REQUIREMENTS OF SECTION 510 OF THE 2018 NC FIRE CODE.



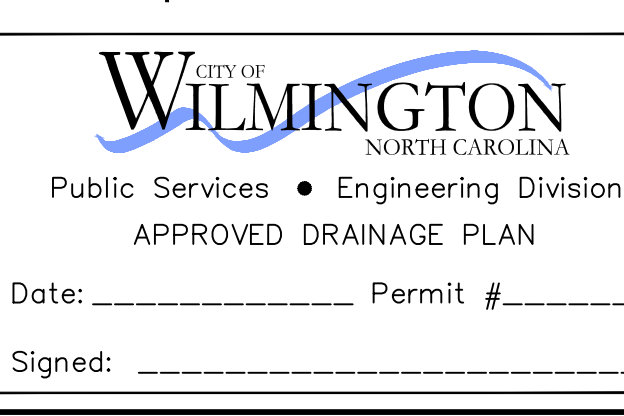
Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_



LIMITS OF DISTURBANCE: 0.45 ACRES  
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No.	REVISIONS	DATE
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4	REVISED PER FIELD CONDITIONS	01/15/20 DS
3	REVISED PER NCDOT COMMENTS	10/30/19 DS
2	TRC SIGNATURE SET	10/15/19 DS
1	REVISED PER TRC COMMENTS	08/29/19 DS

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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
011455010	10/31/2019	AS SHOWN	DS	JWH	WJB

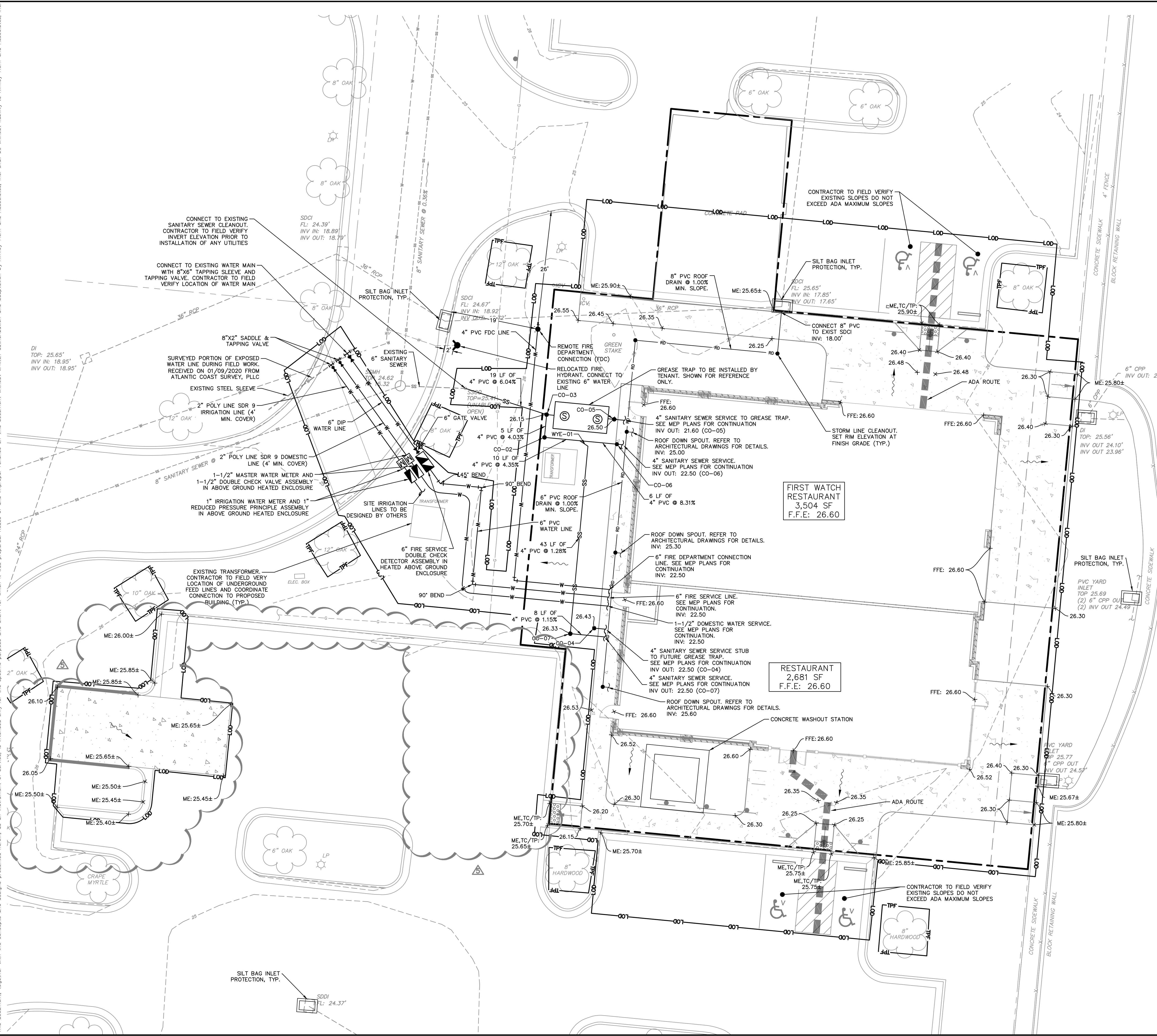
**SITE PLAN**

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**

WILMINGTON NC

SHEET NUMBER  
**C2.1**

Plotted By: Jackson, Austin    Sheet: Set: MAYFAIRE SELF DEV.    Layout: C3.0 GRADING, UTILITY AND EROSION CONTROL PLAN    March 05, 2020 01:01:06pm    K:\RAL\LOEVA\011455010.mxd\dir self dev\08\_cad files\plansheets\C3.0 UTILITY PLAN.dwg  
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### GRADING AND DRAINAGE LEGEND

---	LEASE LINE
RD	ROOF DRAIN
LOD	LIMITS OF DISTURBANCE
805	EXISTING CONTOUR
---	PROPOSED CONTOUR
826.00	SPOT ELEVATION
→	FLOW ARROW
TP	TOP OF PAVEMENT (GRADE ELEV.)
TC	TOP OF CURB (GRADE ELEV.)
TC/TP	FLUSH CURB (GRADE ELEV.)
ME	MATCH EXISTING (GRADE ELEV.)

### EROSION CONTROL LEGEND

---	LIMITS OF DISTURBANCE
TPF	TREE PROTECTION FENCE
□	SILT BAG INLET PROTECTION

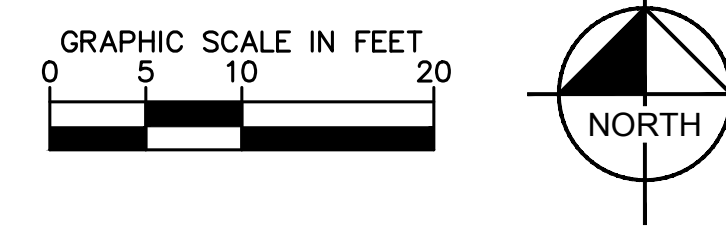
### UTILITY LEGEND

W	WATER LINE
SS	SANITARY SEWER LINE
⊗	WATER METER
⊕	GATE VALVE
⊕	POINT OF CONNECTION
⊕	BACKFLOW PREVENTOR
⊕	PIPE TEE/BENDS
⊕	FIRE DEPARTMENT CONNECTION (FDC)
●	SANITARY SEWER CLEANOUT (CO)

### SANITARY SEWER CLEAN-OUT TABLE

STRUCTURE NAME:	DETAILS:
CO-02	CLEANOUT INV: 21.44
CO-03	CLEANOUT INV: 21.23
CO-04	CLEANOUT INV: 22.47
CO-05	CLEANOUT INV: 21.48
CO-06	CLEANOUT INV: 22.39
CO-07	CLEANOUT INV: 22.41
WYE-01	WYE CONNECTION INV: 21.86

**NOTE:**  
 REFER TO SHEET C6.1 FOR NCG01 NOTES AND GROUND STABILIZATION SPECIFICATIONS.



**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

LIMITS OF DISTURBANCE: 0.45 ACRES  
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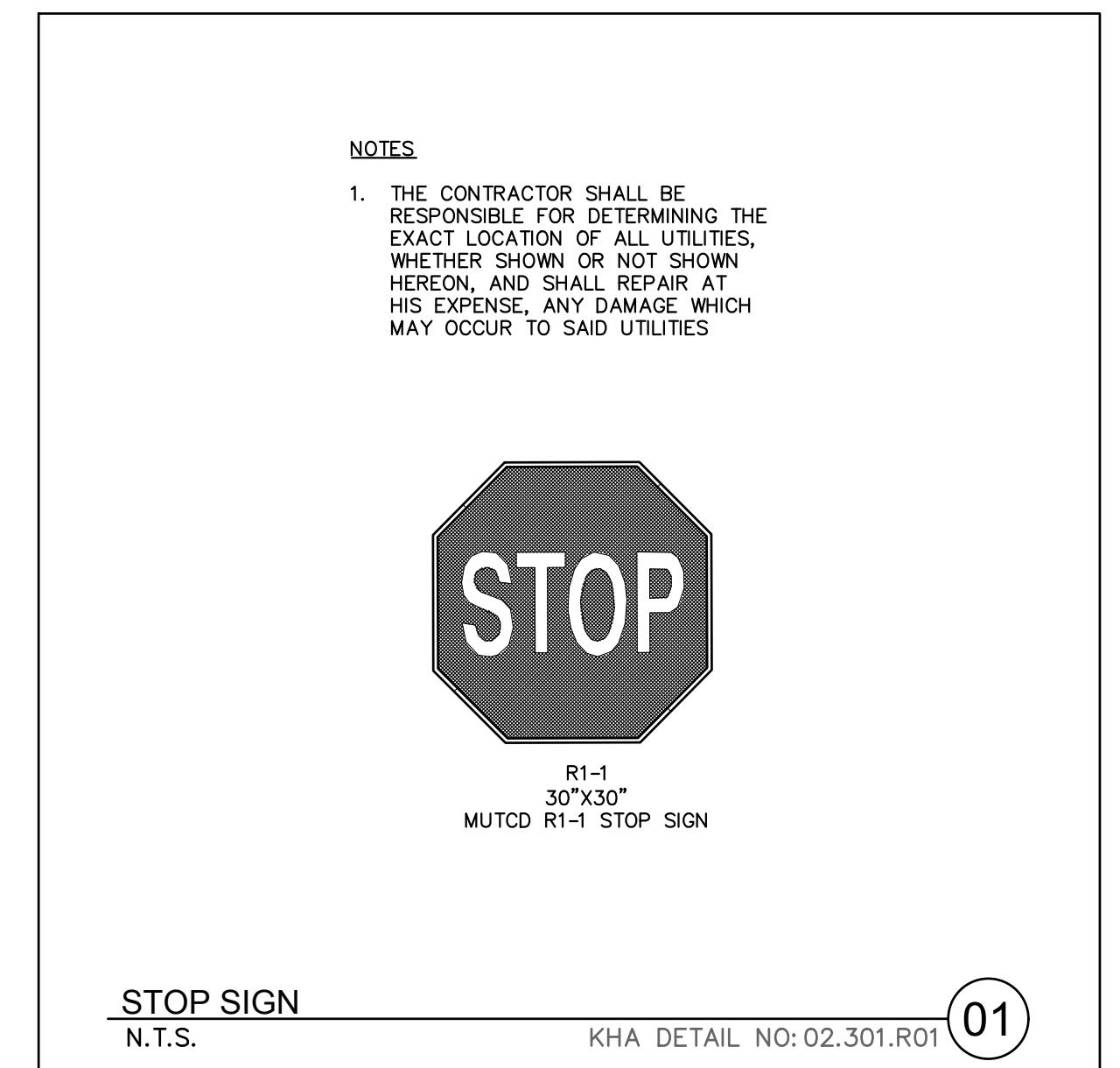
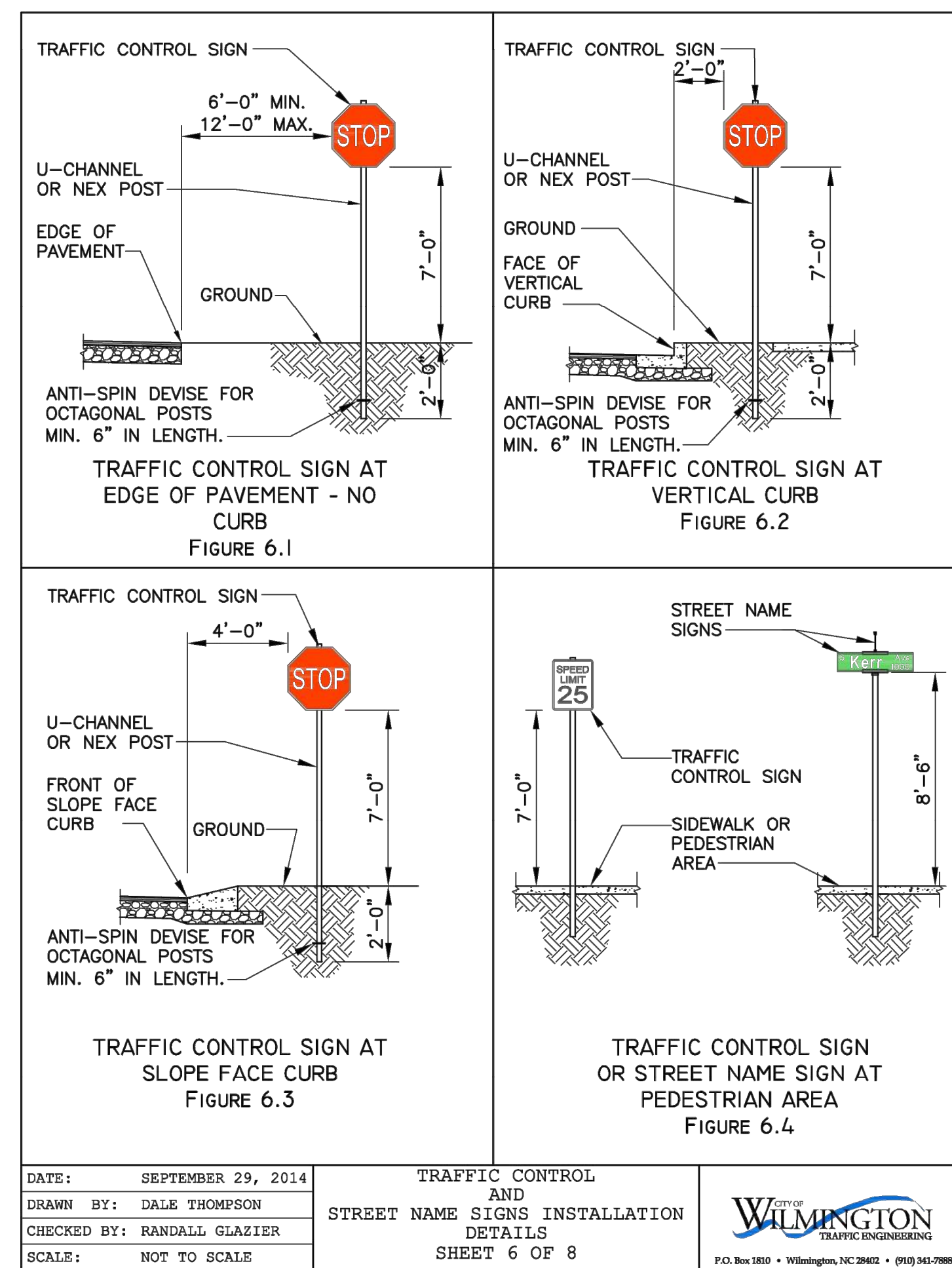
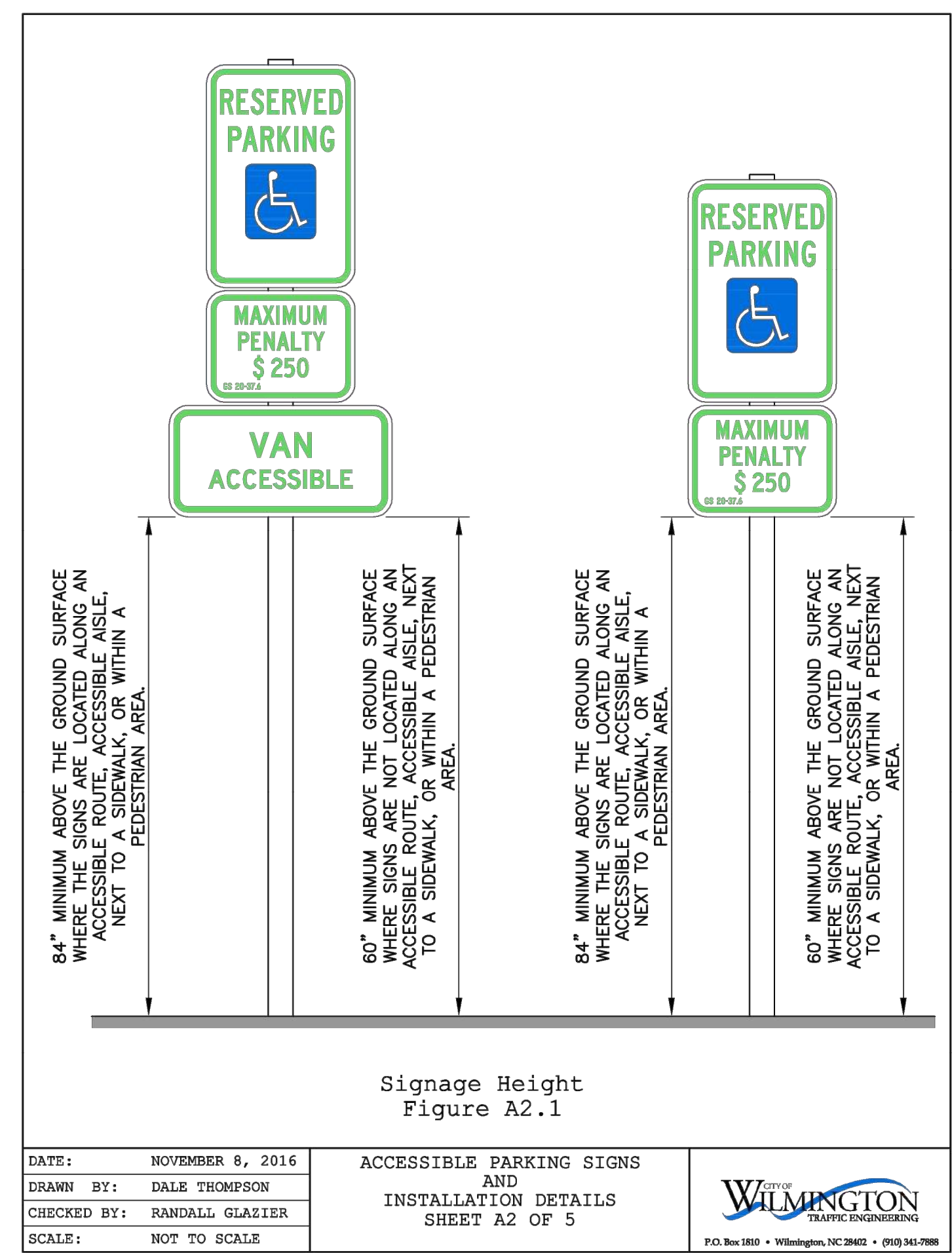
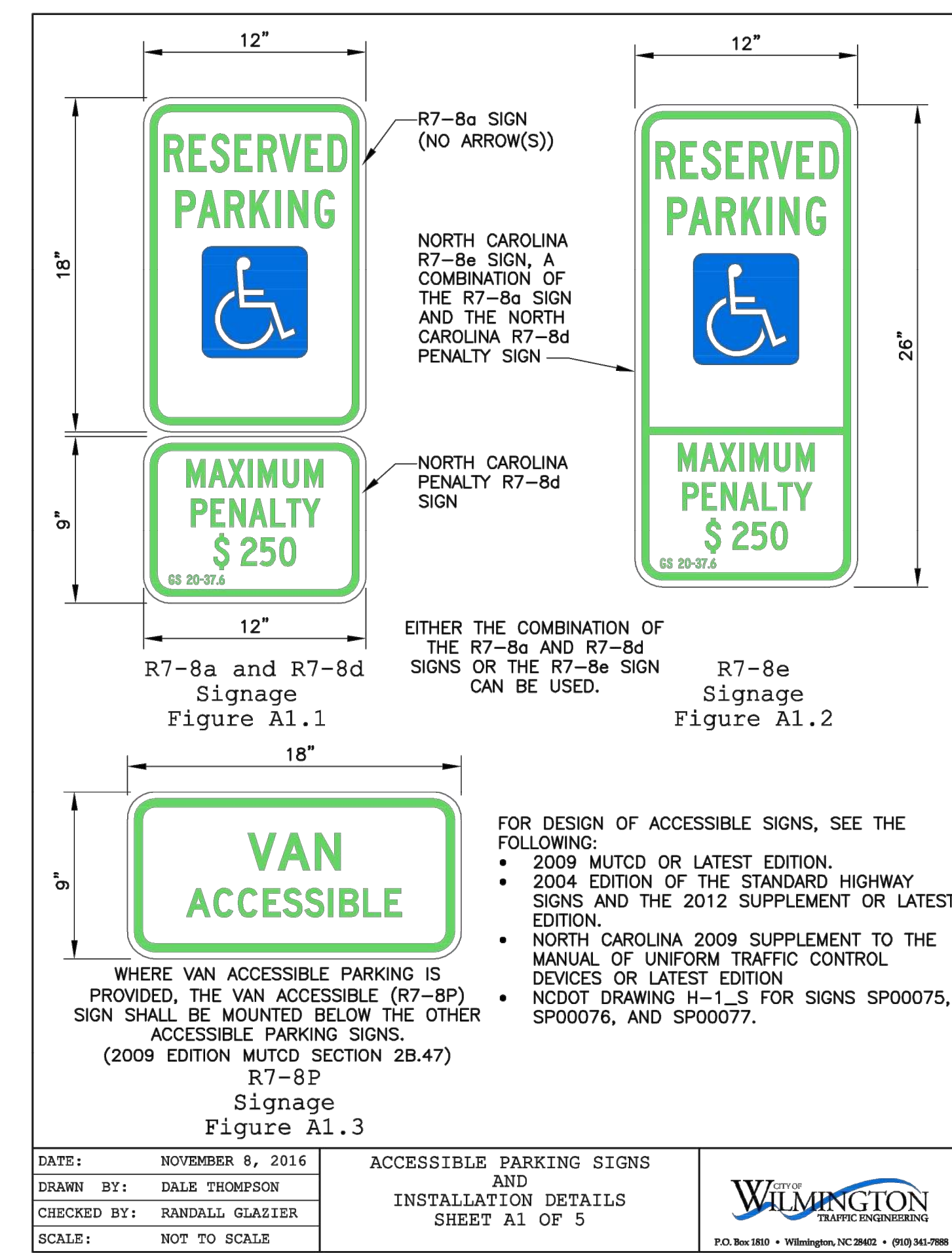
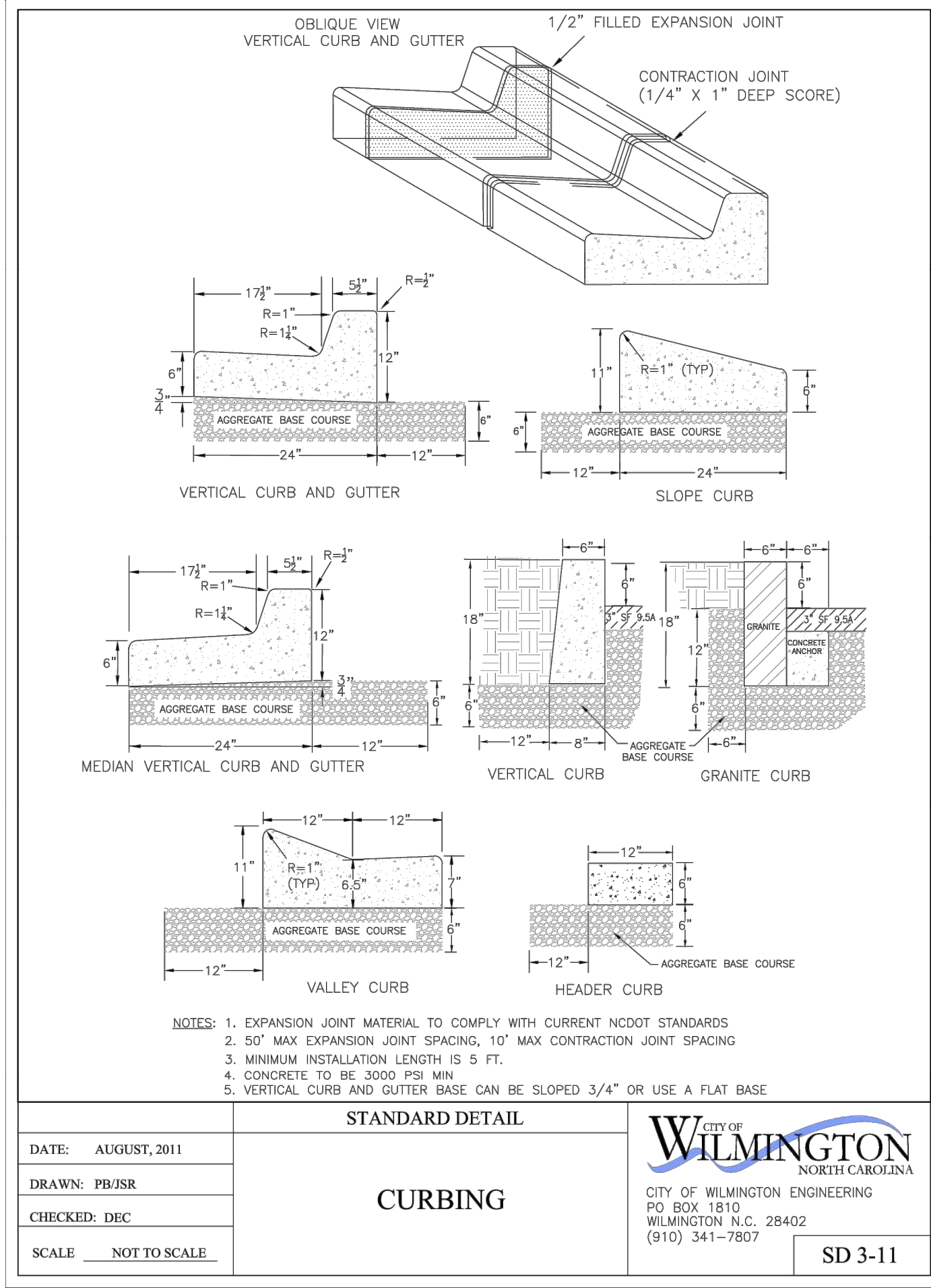
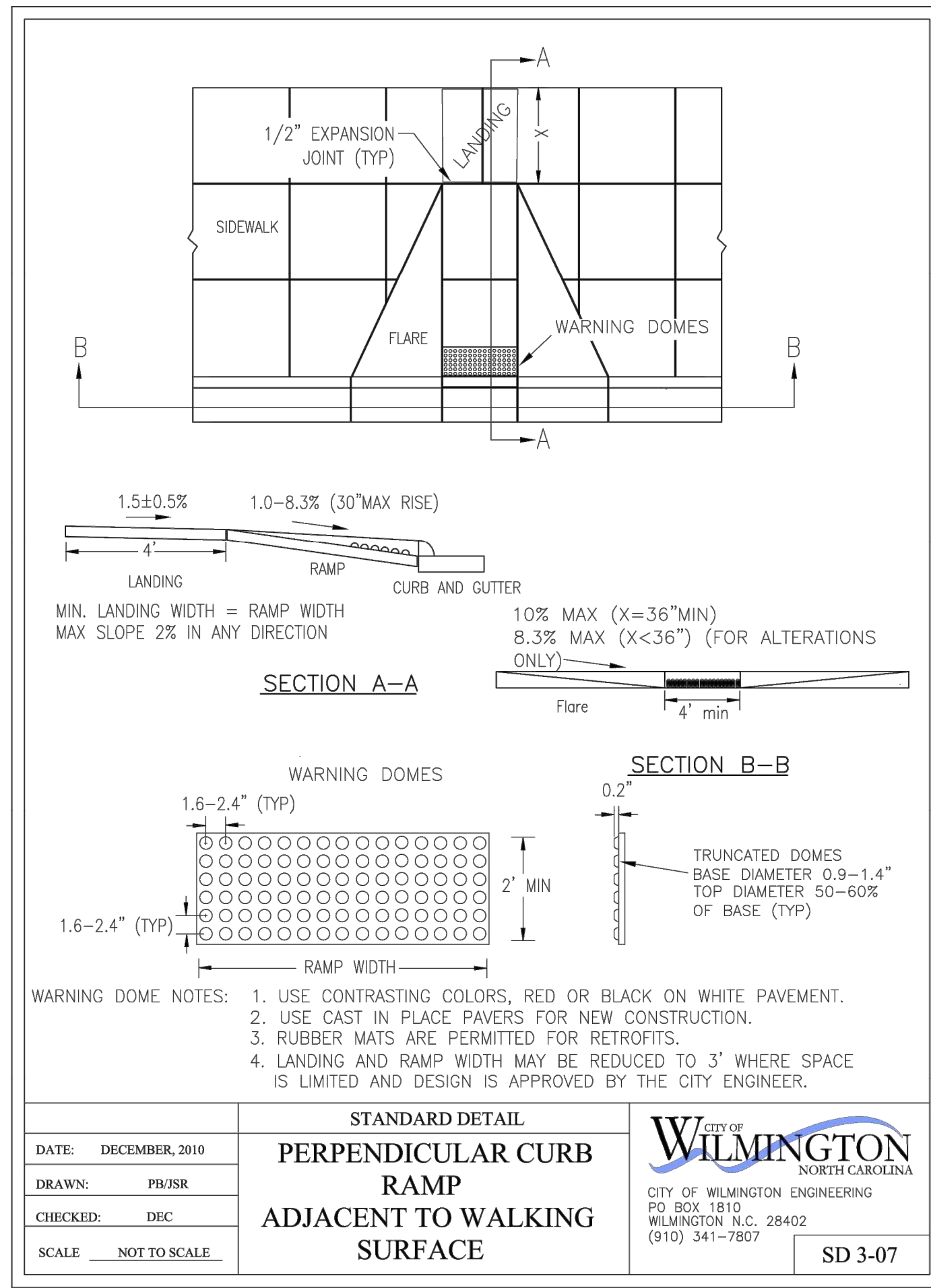
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 PHONE: 919-677-2000 FAX: 919-677-2050  
 WWW.KIMLEY-HORN.COM  
 #F-0102

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
011455010	10/31/2019	AS SHOWN	DS	JWH	WJB

## GRADING, UTILITY, AND EROSION CONTROL PLAN

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**  
 WILMINGTON, NC  
 SHEET NUMBER  
**C3.0**

Plotted by: Jackson, Austin - Sheet Set: MAYFAIRE SELF DEV. - Layout: C4.0 SITE DETAILS - March 05, 2020 - 01:01:14pm - K:\V\AL\DEV\011455010\_mayfair\_self\_dev.dwg - Files: V\AL\DEV\011455010\_mayfair\_self\_dev.dwg - This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



No.	REVISIONS	DATE	BY
5	REVISED PER OWNER REQUEST	03/06/20 JAU	
4	REVISED PER FIELD CONDITIONS	01/15/20 DS	
3	REVISED PER NCDOT COMMENTS	10/30/19 DS	
2	TRC SIGNATURE SET	10/15/19 DS	
1	REVISED PER TRC COMMENTS	08/29/19 DS	

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 #F-0102

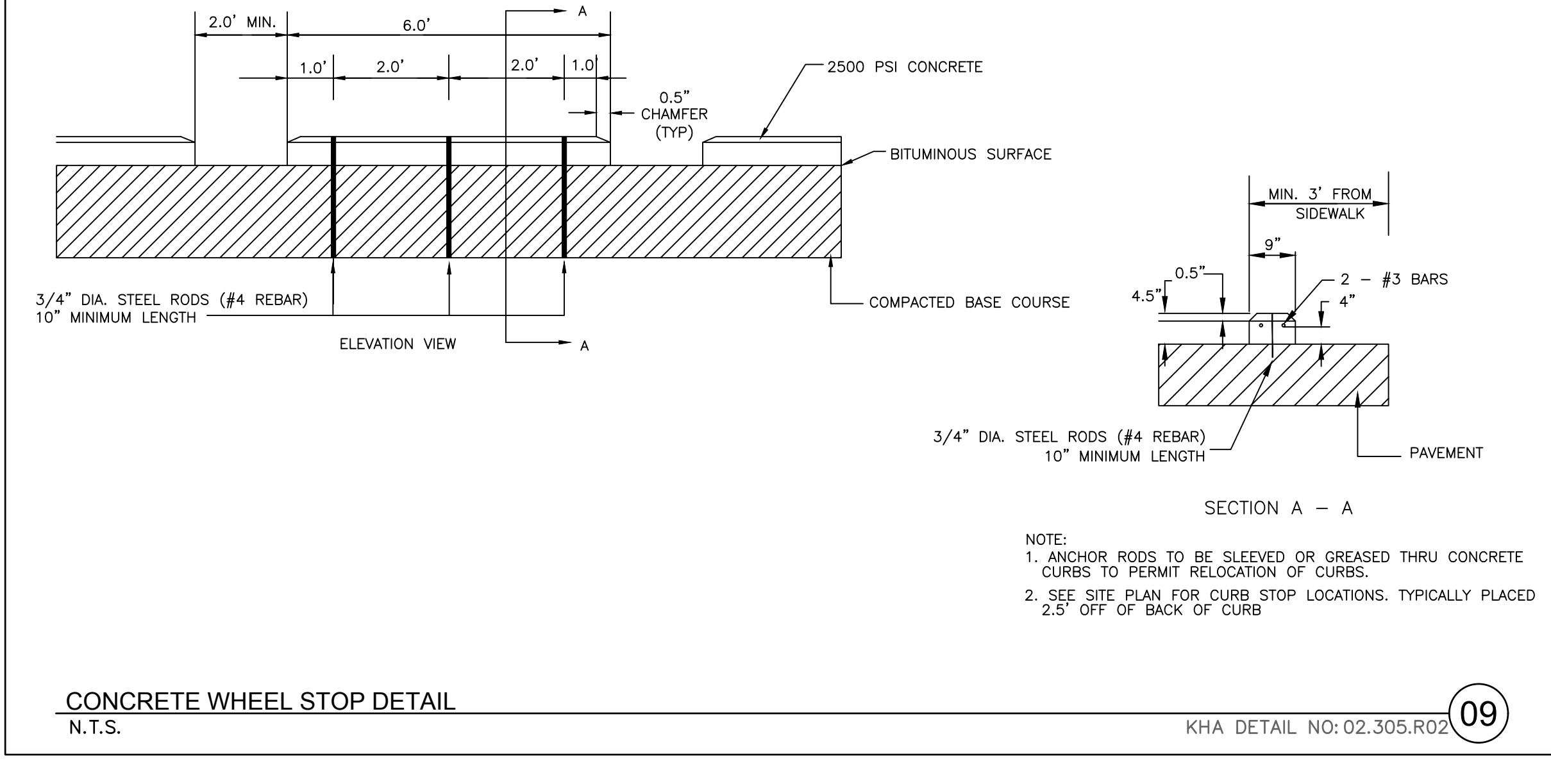
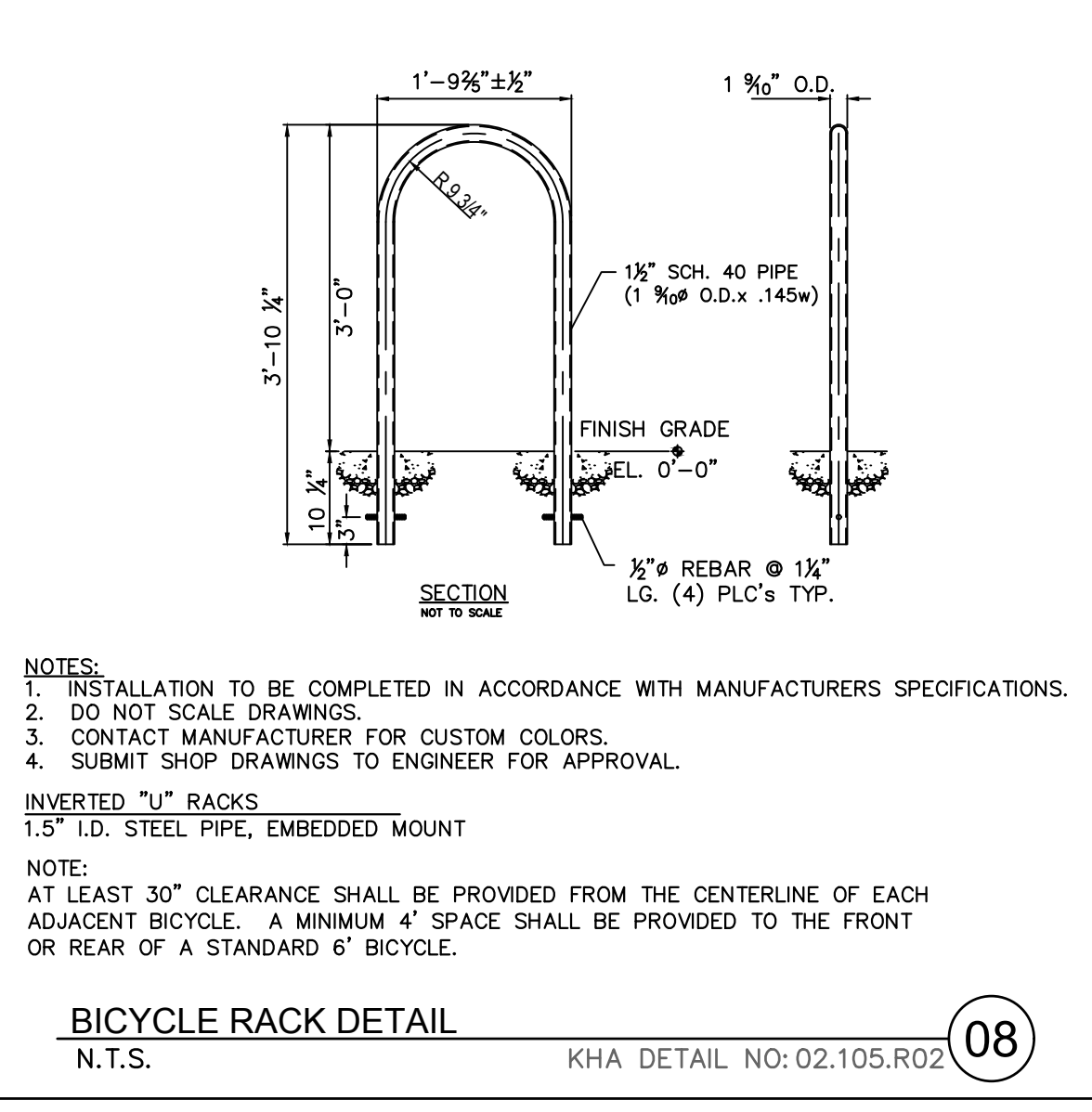
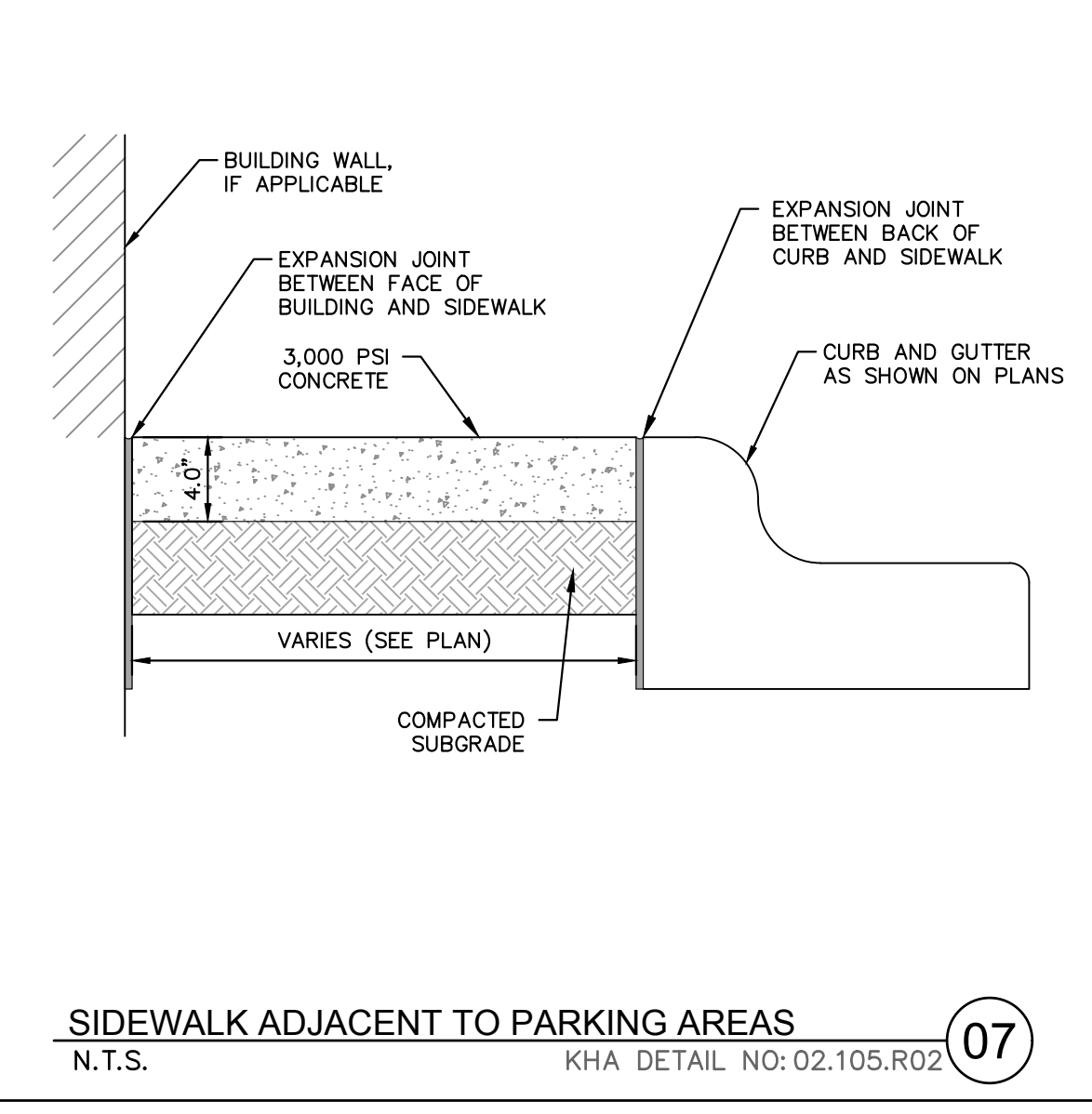
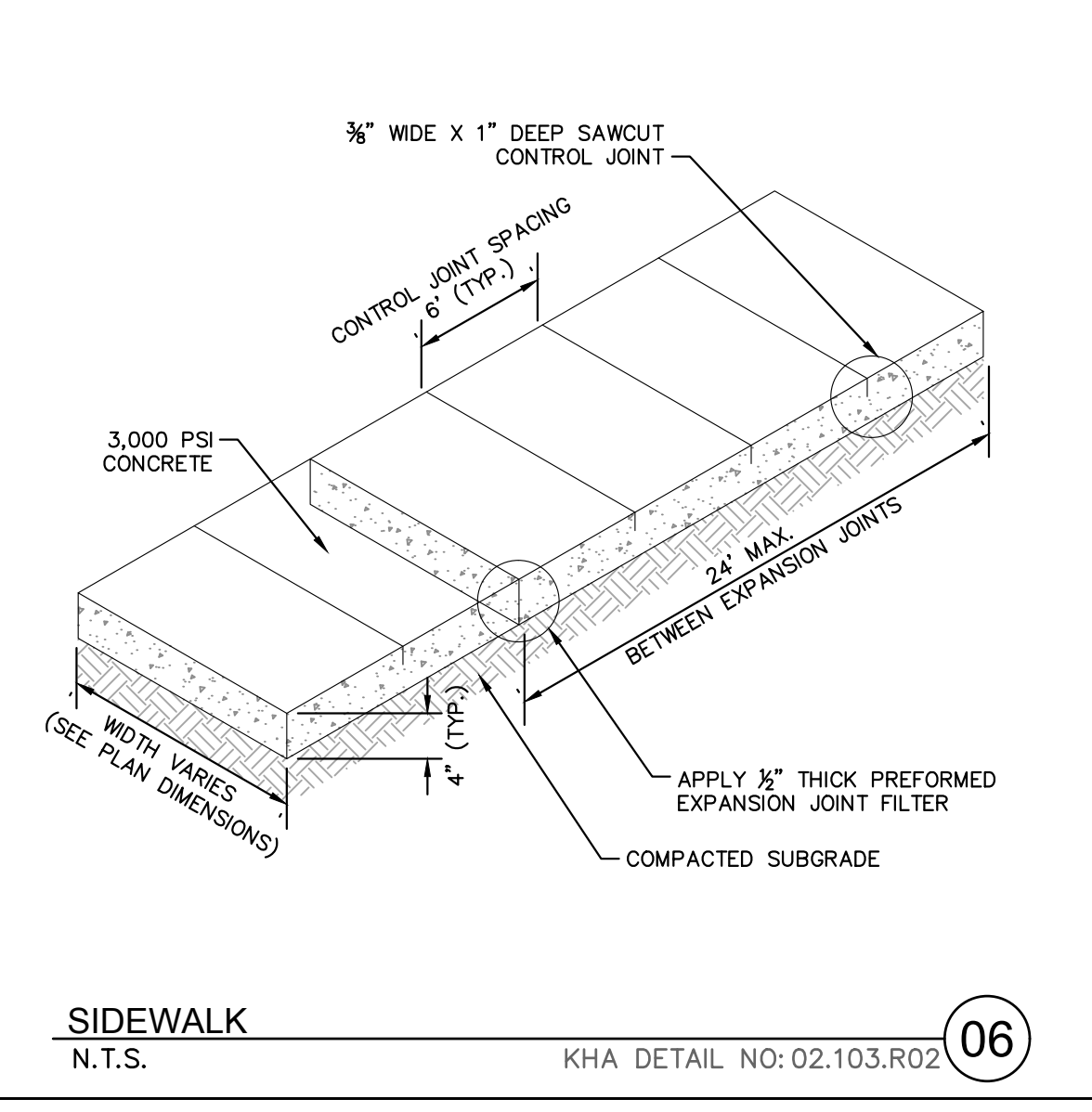
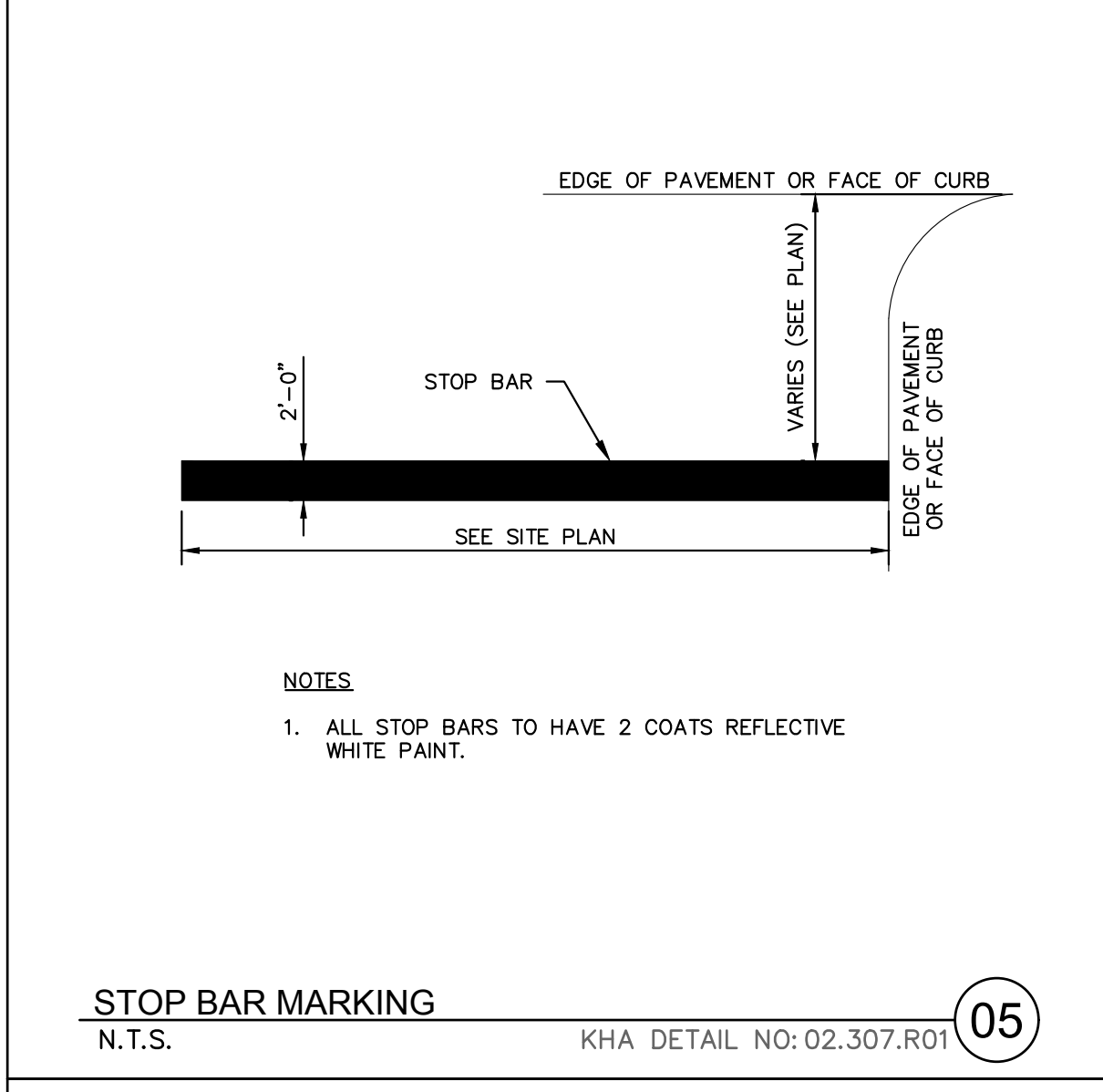
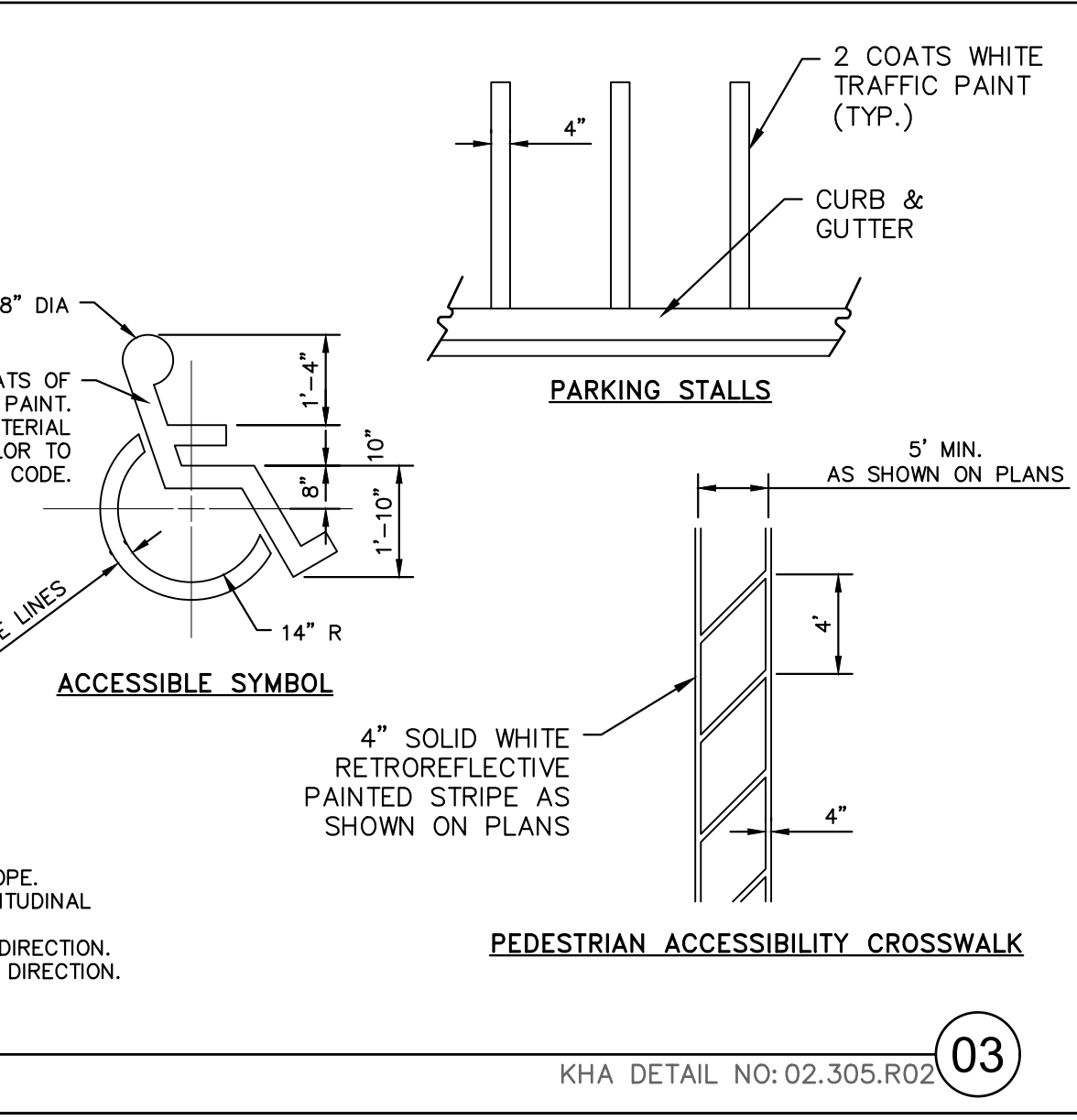
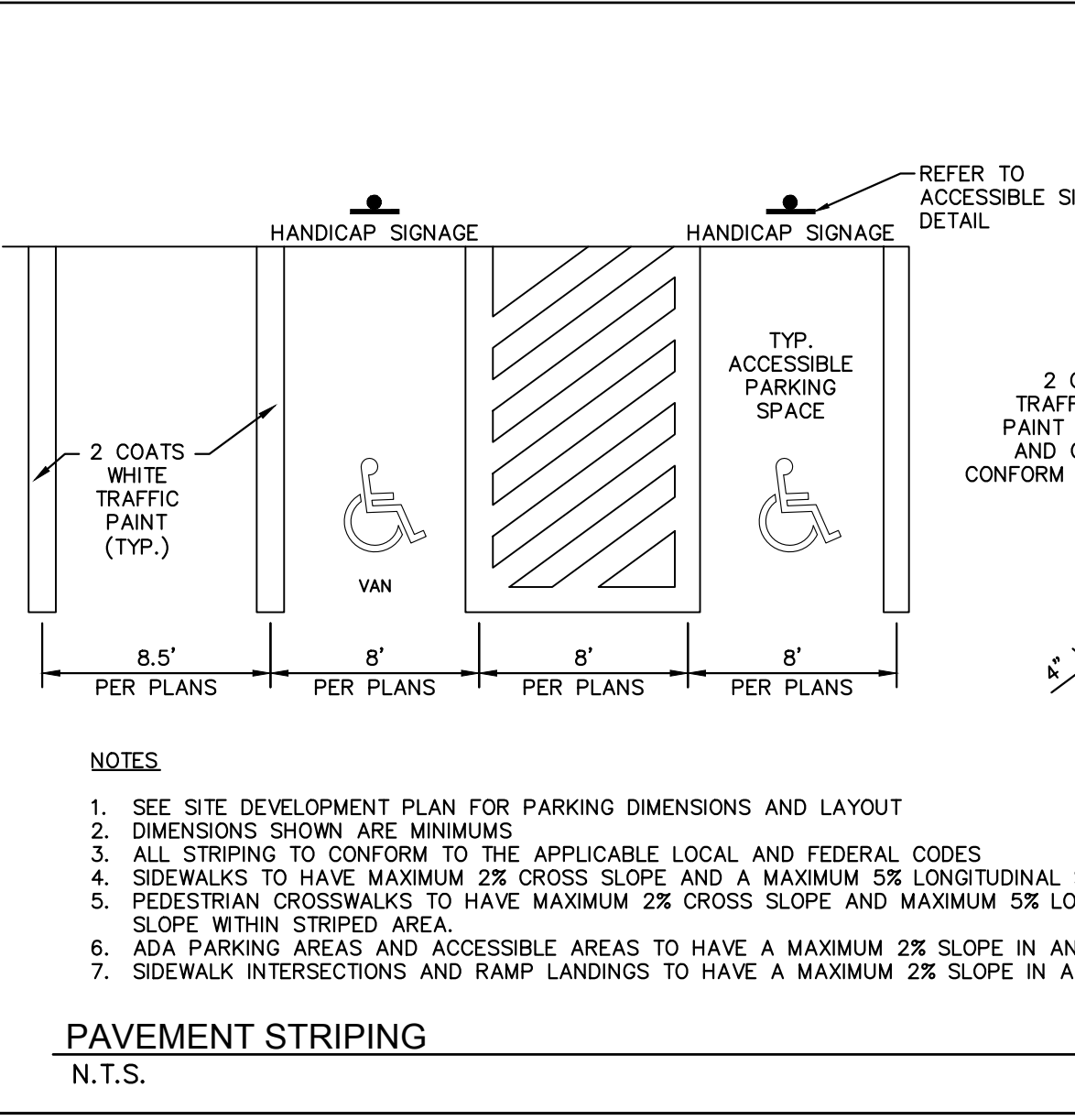
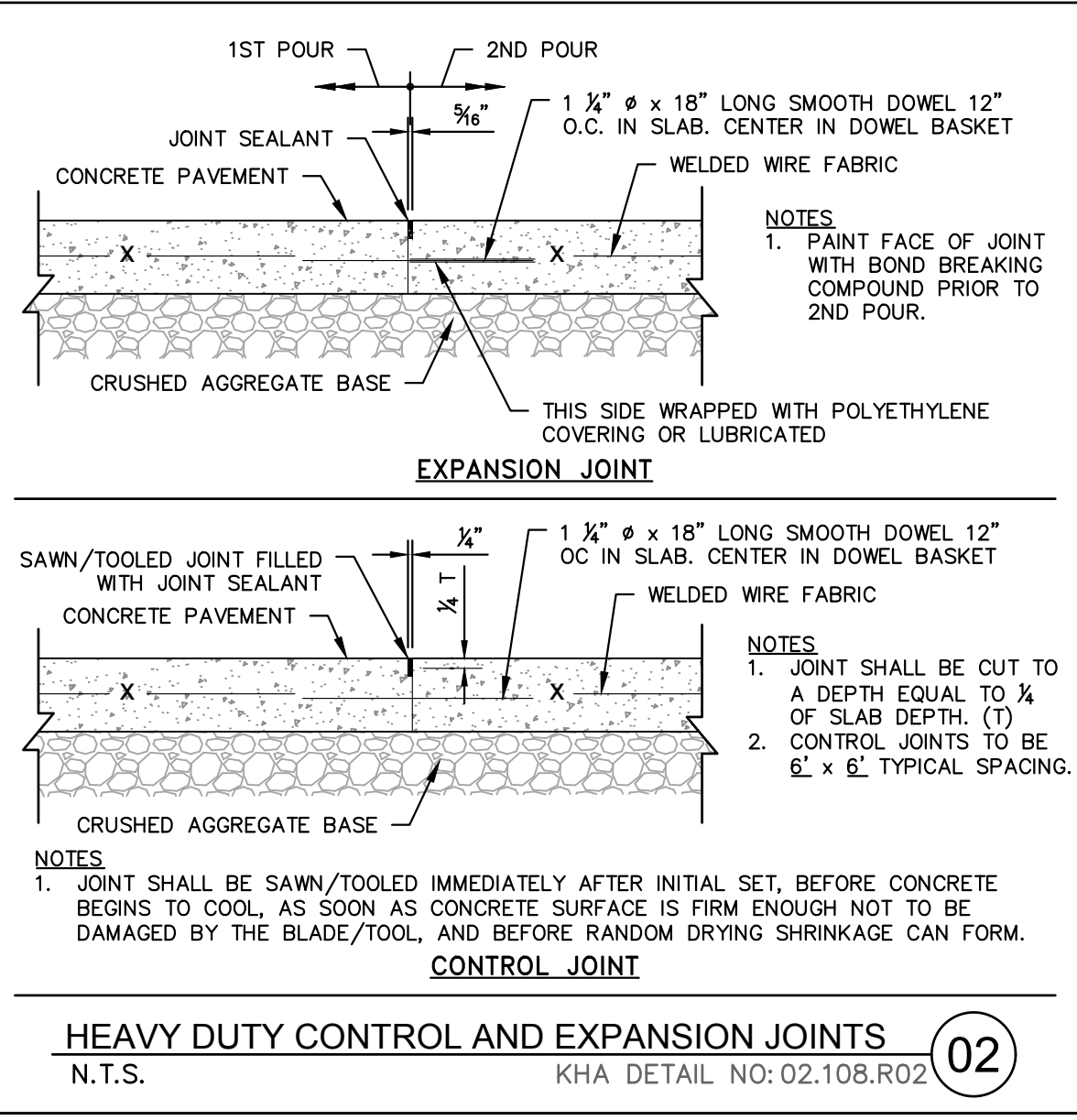
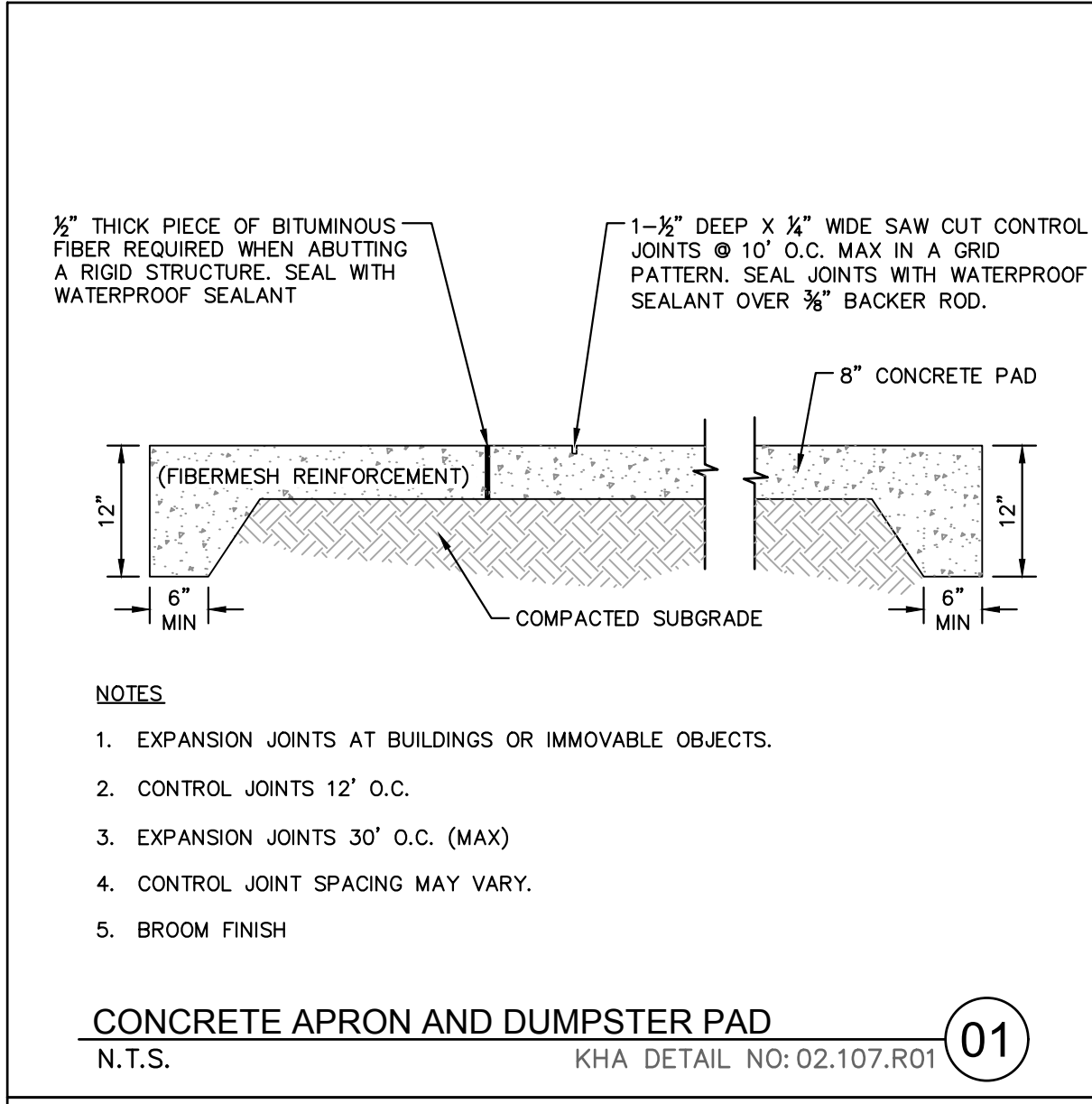
KHA PROJECT	011455010
DATE	10/31/2019
SCALE	AS SHOWN
DESIGNED BY	DS
DRAWN BY	JWH
CHECKED BY	WJB

**SITE DETAILS**

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**  
 WILMINGTON NC  
 SHEET NUMBER  
**C4.0**

**CITY OF WILMINGTON NORTH CAROLINA**  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_  
**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

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NO.	REVISIONS	DATE	BY
5	REVISED PER OWNER REQUEST	03/06/20	JAU
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KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
011455010	10/31/2019	AS SHOWN	DS	JWH	WJB

**SITE DETAILS**

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**

WILMINGTON NC

SHEET NUMBER  
**C4.1**

**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

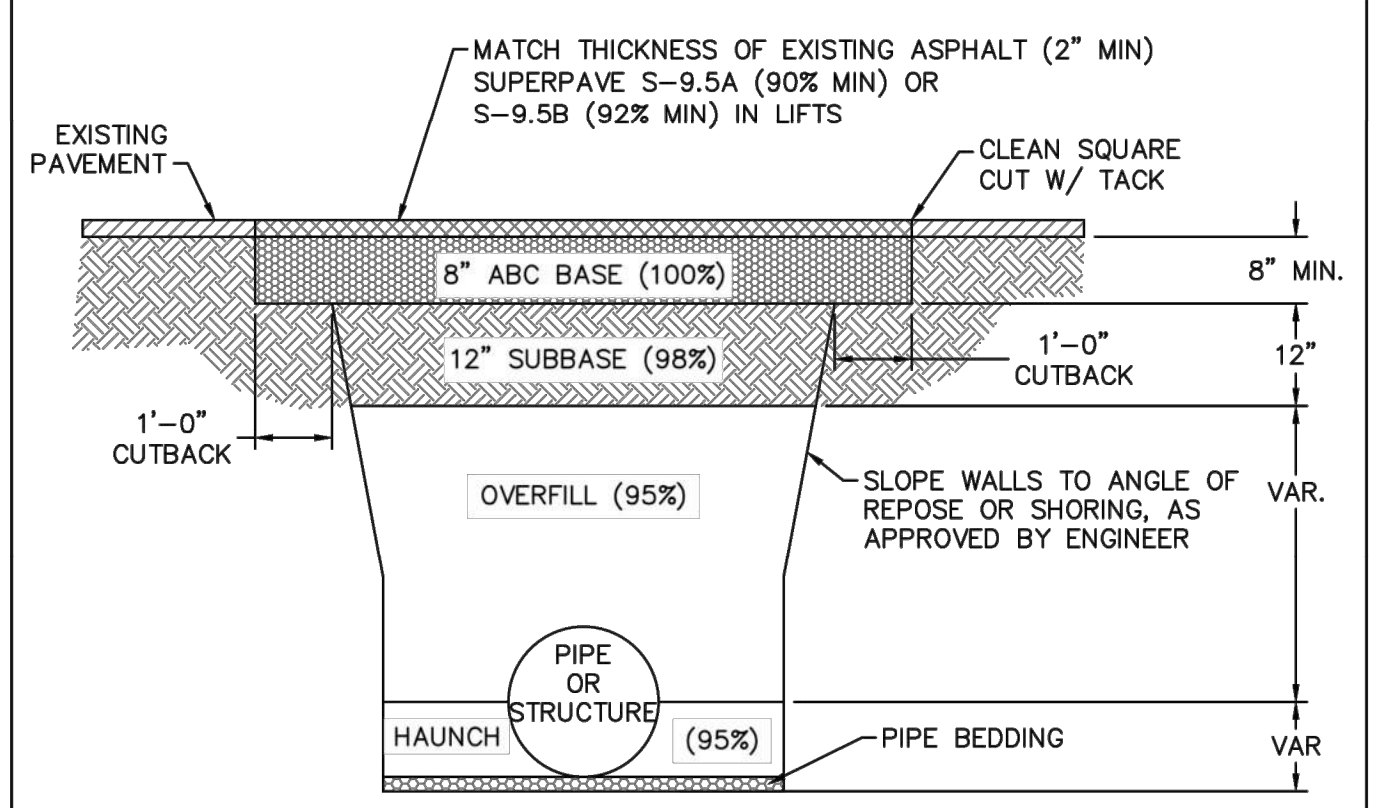
Approved Construction Plan  
 Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



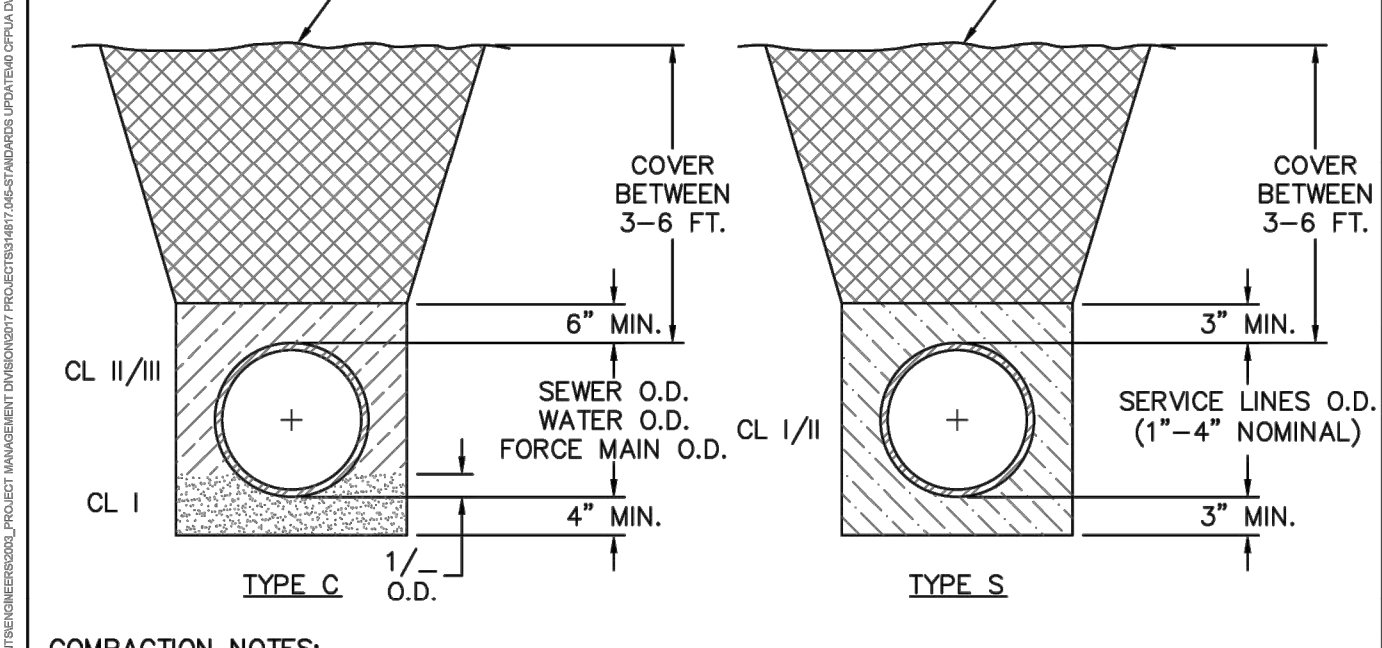
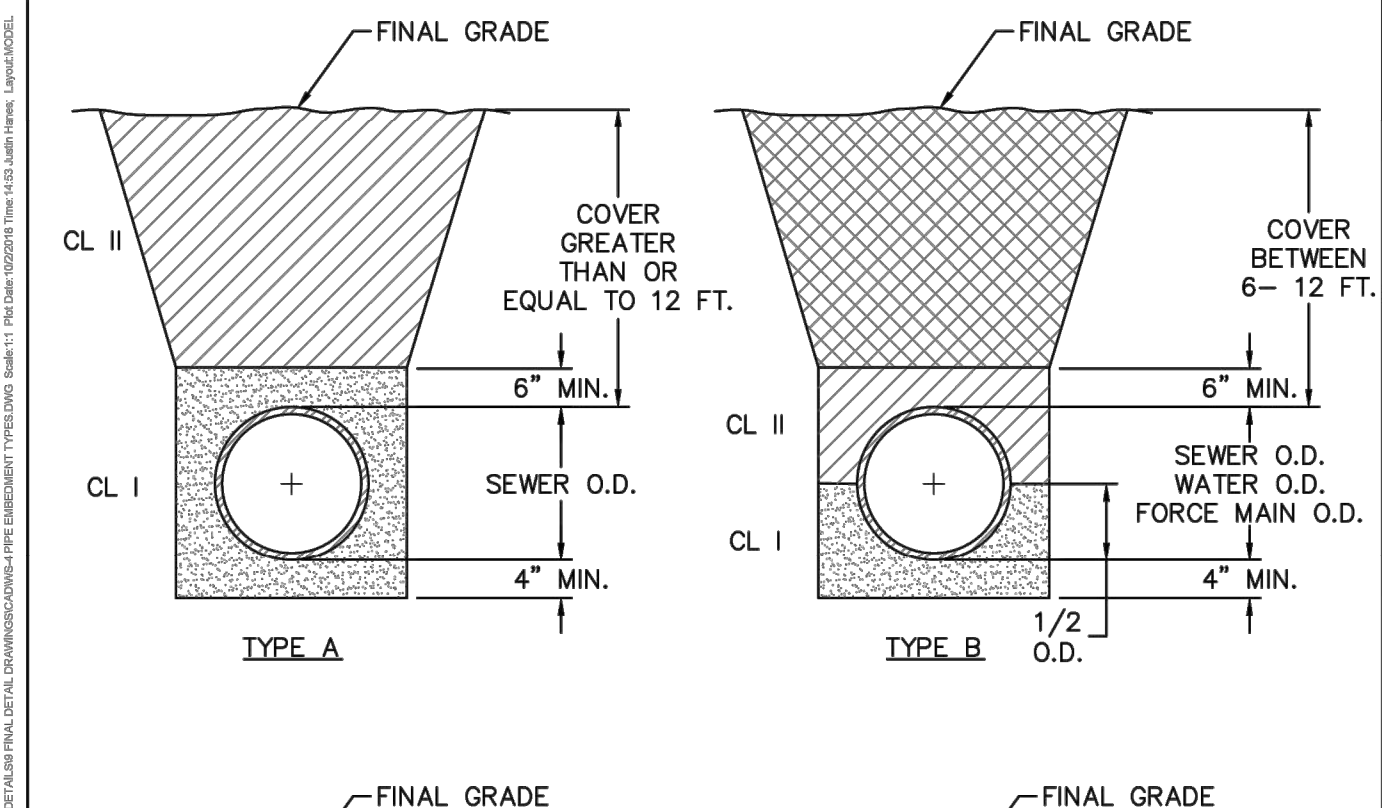
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- NOTES:**
- CONTRACTOR SHALL ENSURE BOTTOM OF TRENCH IS SUITABLE FOR INSTALLATION AND DOES NOT REQUIRE FOUNDATION CONDITIONING STONE.
  - FILL SHALL BE SUITABLE MATERIAL THAT IS FREE FROM HEAVY CLAY, GUMBS, DEBRIS, ORGANICS AND LITTLE TO NO EXCESSIVE MOISTURE.
  - SELECT BACKFILL MAY BE SUBSTITUTED OR REQUIRED BY CITY TO ACHIEVE COMPACTION, (I.E. #57 STONE, ABC, CRUSHED LIMESTONE, CLEAN SAND, FLOWABLE FILL, ETC).
  - SOIL SHALL BE INSTALLED IN 6"-8" LIFTS AND COMPACTED BY A MECHANIZED TAMPER (I.E. JUMPING JACK). HOWEVER, VIBRATORY ROLLERS > 18" WIDTH MAY BE USED FOR LARGER EXCAVATIONS. THE PLATE TAMP METHOD SHALL NOT BE USED.
  - ALL APPROVED CASTINGS SHALL BE SET FLUSH TO GRADE AND SUPPORTED IF APPLICABLE.
  - COMPACT MATERIALS TO MINIMUM % DENSITY SHOWN IN DIAGRAM AS DETERMINED BY THE STANDARD PROCTOR METHOD ASTM D-698-A FOR SOILS, AND ASTM D-698-C FOR ABC STONE, AND BY NUCLEAR GAGE OR CORE SAMPLE FOR ASPHALT.
  - CUTBACKS OF ASPHALT SHALL BE PREPARED ON EDGE OF EXCAVATION OVER TOP OF UNDISTURBED SOIL.

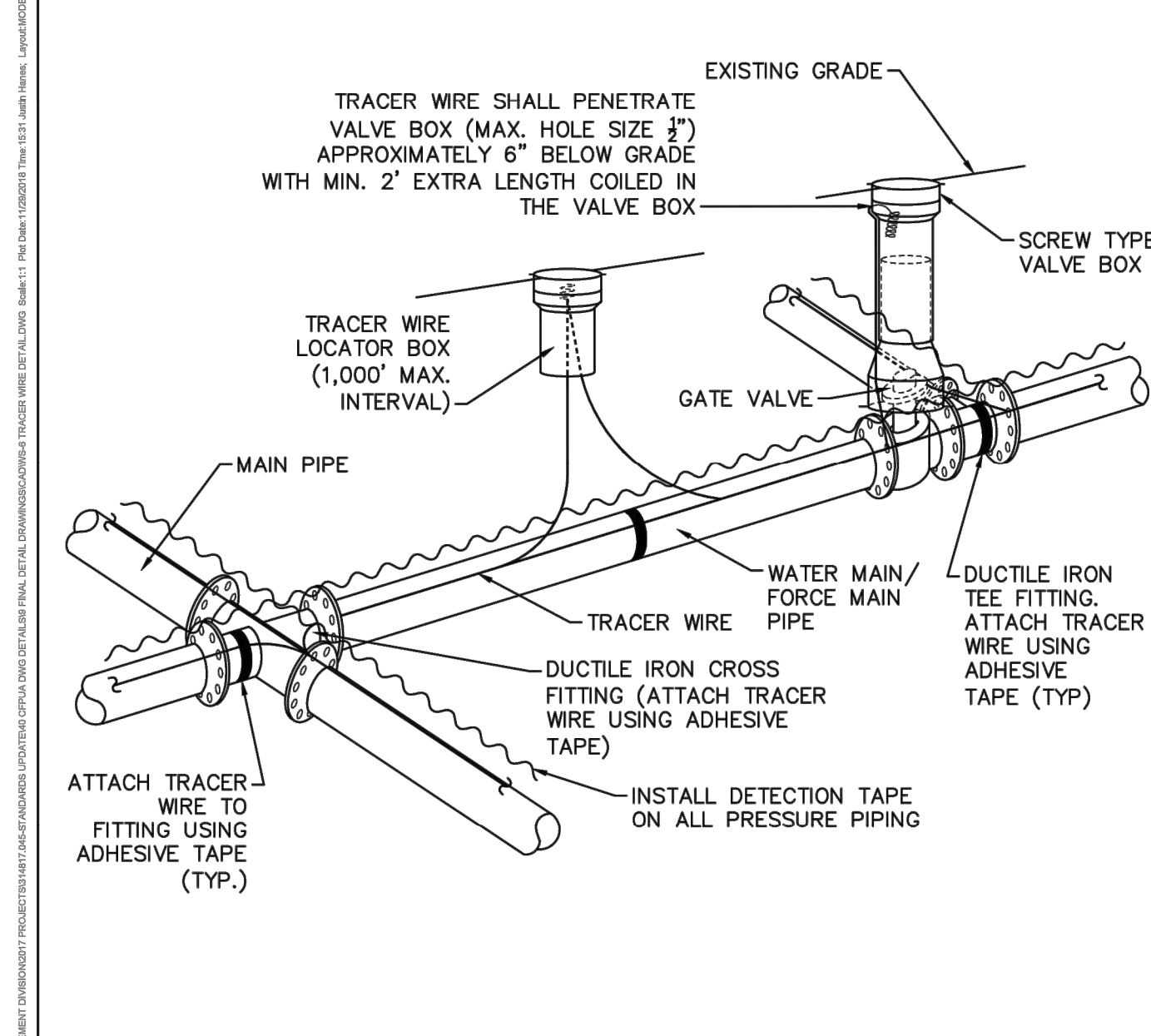
(FOR PRIVATE ROADS AND PAVED AREAS; CONTRACTOR TO MEET MINIMUM REQUIREMENTS AS DEFINED BY RIGHT-OF-WAY OWNER FOR PUBLIC ROAD REPAIRS)

DETAIL: <b>CITY OF WILMINGTON</b> PAVEMENT REPAIRS-UTILITY CUTS SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>WS-1</b> SHEET NO: -
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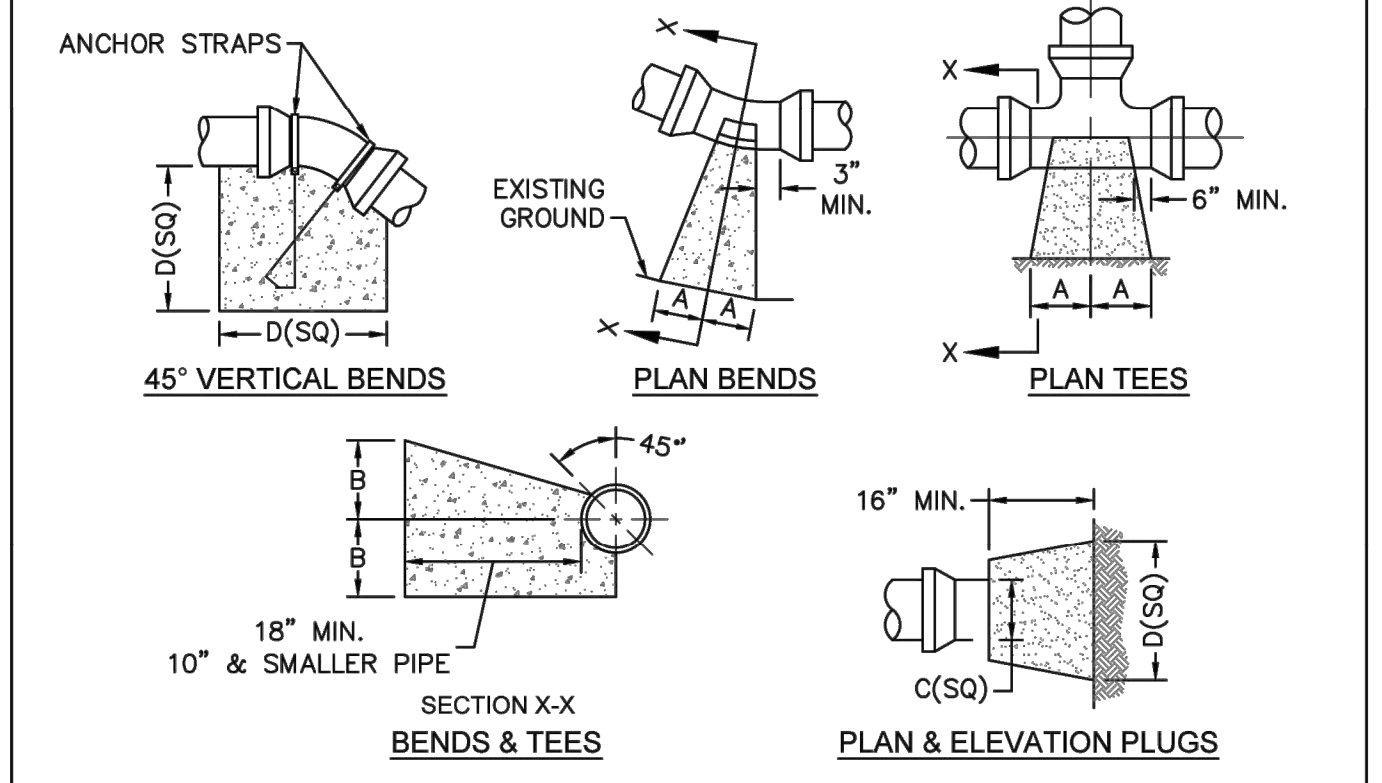
- COMPACTION NOTES:**
- ALL ZONES: 95% STD EFFORT PER ASTM D698, EXCEPT AS STATED IN COMPACTION NOTE 2.
  - 12" SUBGRADE UNDER PAVEMENT: 98% STD EFFORT PER ASTM D698.

DETAIL: <b>PIPE EMBEDMENT TYPES</b> SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>WS-4</b> SHEET NO: -
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- NOTES:**
- TRACER WIRE SHALL BE #10 COPPER SOLID CORE COPPER WIRE WITH GAS AND OIL RESISTANT INSULATION AND DIRECT BURY RATING.
  - WIRE SHALL BE STRAPPED TO ALL PVC PIPING WITH ADHESIVE TAPE AT 12 FOOT INTERVALS.
  - SECURE WIRE TO ALL TEE AND CROSS FITTINGS WITH ADHESIVE TAPE.
  - ALL SPLICES IN THE WIRE SHALL BE MADE WITH 3M DBR DIRECT BURY SPLICE KITS.

DETAIL: <b>TRACER WIRE DETAIL</b> SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>WS-6</b> SHEET NO: -
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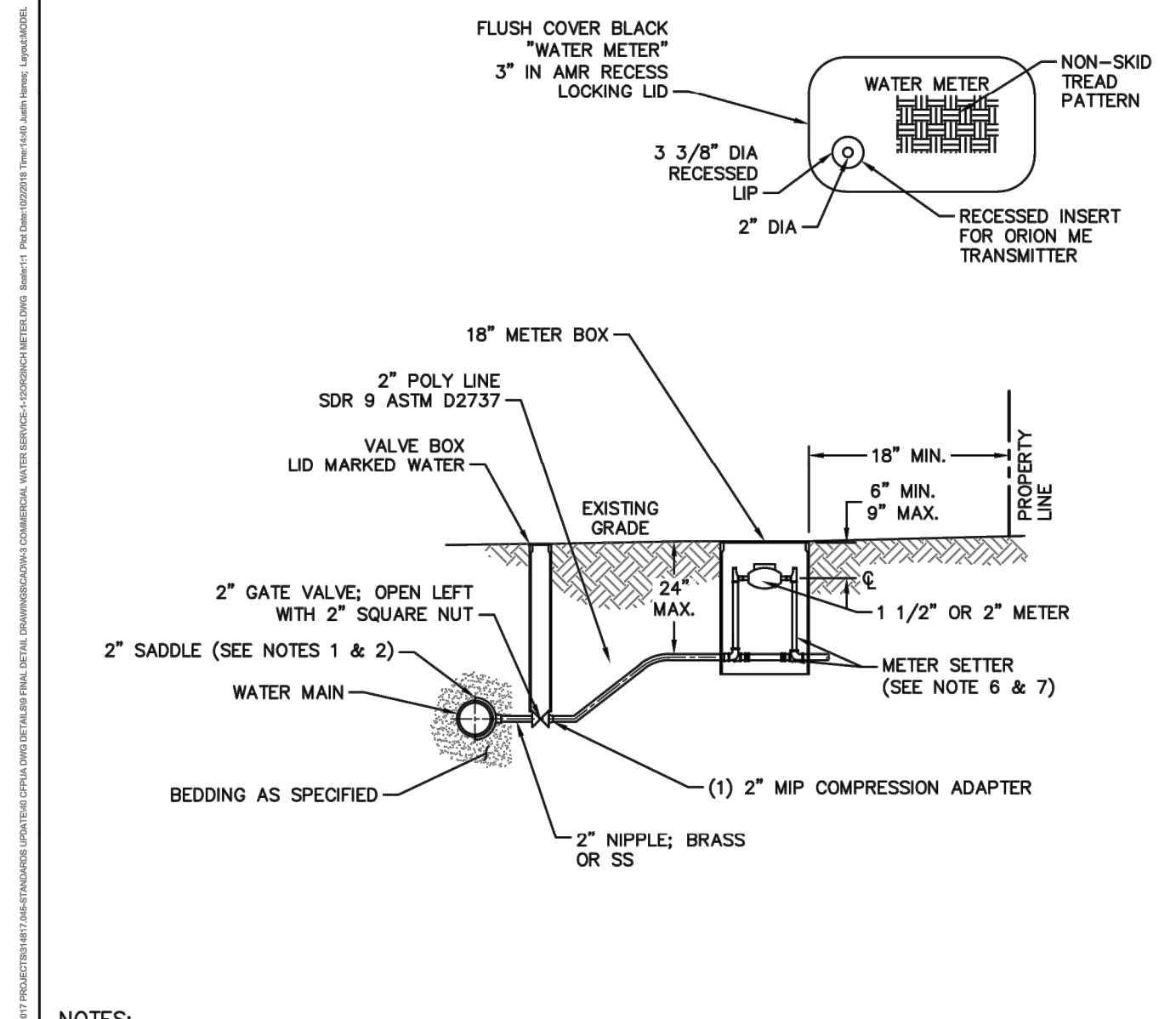
SIZE	90 BENDS		45 BENDS		22-1/2 BENDS		TEES/PLUGS		45 VERT. BENDS
	A	B	A	B	A	B	A	B	
3"	8"	6"	5"	6"	3"	7"	6"	8"	27"
4"	8"	9"	5"	8"	3"	11"	6"	9"	28"
6"	14"	11"	9"	9"	8"	8"	12"	9"	36"
8"	16"	16"	12"	12"	10"	13"	14"	13"	42"
10"	18"	22"	15"	14"	14"	16"	18"	15"	50"
12"	20"	28"	18"	17"	16"	16"	22"	18"	62"
14"	26"	29"	21"	19"	18"	18"	26"	20"	72"
16"	33"	29"	25"	21"	20"	21"	32"	21"	83"
18"	40"	30"	28"	24"	22"	23"	36"	24"	88"

- NOTES:**
- THRUST BLOCKING IS NOT PERMITTED EXCEPT IN SPECIAL INSTALLATIONS WHERE DESIGNED BY ENGINEER AND APPROVED BY CFPUA.
  - ALLOW 7-DAY MINIMUM CONCRETE CURE TIME BEFORE PLACING LOAD ON THRUST BLOCK
  - BASED ON 160 PSI TEST PRESSURE AND 2,000 PSF SOIL BEARING CAPACITY.
  - ALL BEARING SURFACES TO BE CARRIED TO UNDISTURBED GROUND.
  - PIPE & FITTINGS TO BE WRAPPED IN 10 MIL PLASTIC PRIOR TO THRUST BLOCK BEING POURED.

DETAIL: <b>THRUST BLOCK</b> SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>WS-13</b> SHEET NO: -
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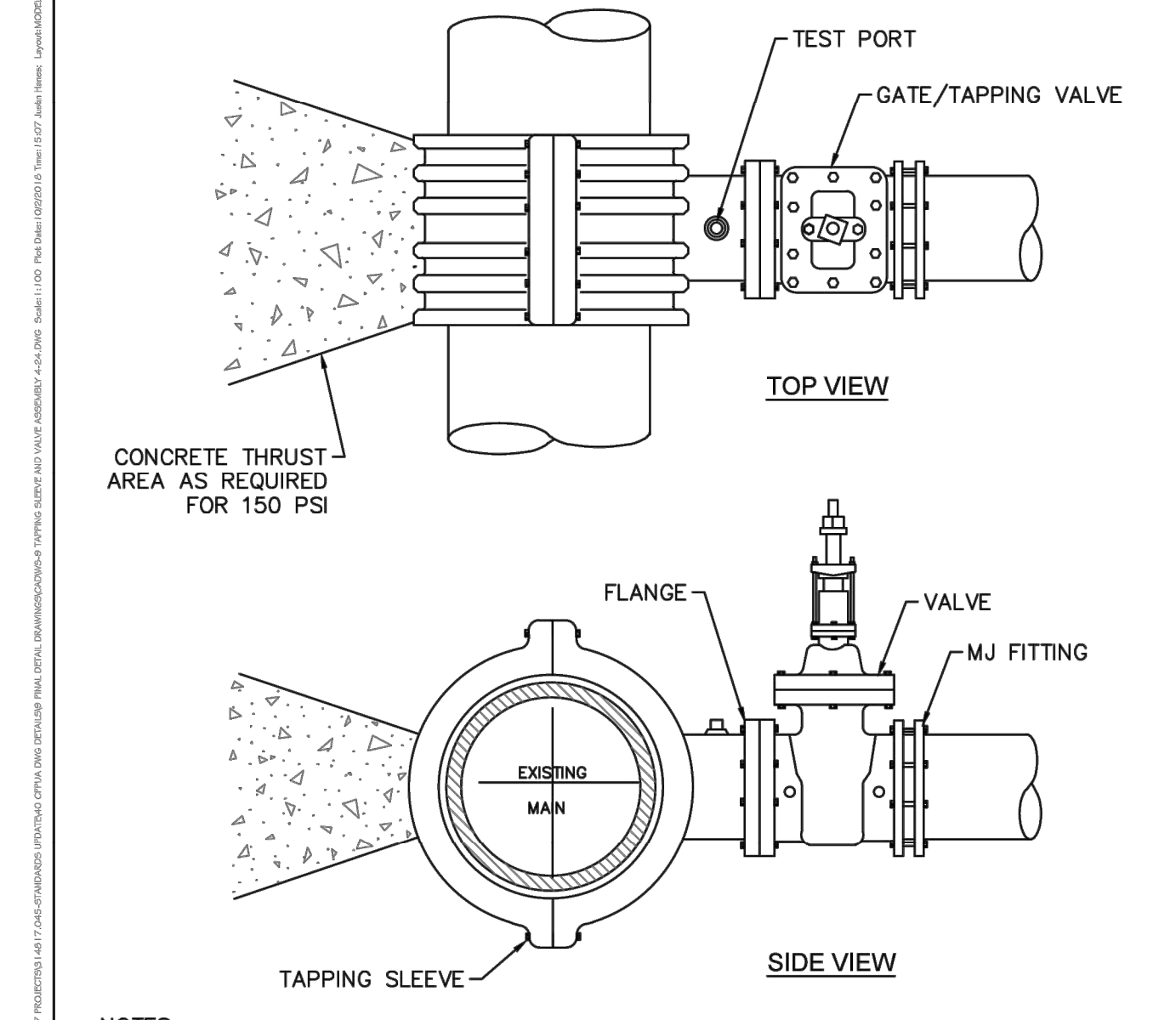
- CAPE FEAR PUBLIC UTILITY AUTHORITY STANDARD NOTES:**
- ALL PROPOSED ADDITIONS TO THE CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) WATER DISTRIBUTION AND SANITARY SEWER COLLECTION SYSTEMS, AS SHOWN AND SPECIFIED HEREIN, SHALL BE DESIGNED AND CONSTRUCTED TO CONFORM TO STATE RULES AND THE CFPUA'S MINIMUM TECHNICAL STANDARDS. THE CFPUA'S MINIMUM TECHNICAL STANDARDS ARE CONTAINED IN THE CURRENT DESIGN GUIDANCE MANUAL, MATERIAL SPECIFICATION MANUAL, TECHNICAL SPECIFICATIONS FOR CONSTRUCTION, AND STANDARD DRAWING DETAILS.
  - SEWER GUARDS REQUIRED AT ALL MANHOLES. STAINLESS STEEL SEWER GUARDS REQUIRED AT MANHOLES LOCATED IN TRAFFIC AREAS.
  - WATER AND SEWER SERVICES SHALL BE PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. SEWER SERVICES IN CUL-DE-SACS ARE REQUIRED TO BE PERPENDICULAR, OR MUST ORIGINATE IN END OF LINE MANHOLE AND TERMINATE 18" INSIDE RIGHT-OF-WAY LINE. ALL SEWER SERVICES CONNECTING INTO DUCTILE IRON MAINS SHALL ALSO BE CONSTRUCTED OF DIP.
  - MINIMUM 10' UTILITIES EASEMENT PROVIDED ALONG THE FRONTAGE OF ALL LOTS AND AS SHOWN FOR NEW DEVELOPMENTS.
  - NO FLEXIBLE COUPLINGS SHALL BE USED.
  - ALL STAINLESS STEEL FASTENERS SHALL BE TYPE 316.
  - CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.
  - WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNER.
  - UNUSED SERVICES SHALL BE ABANDONED. ABANDONED WATER SERVICES SHALL BE DISCONNECTED FROM MAIN.
  - A MINIMUM OF 10' OF MAIN LINE SHALL BE REPLACED FOR NEW CONNECTIONS TO EXISTING CLAY GRAVITY SEWER MAINS.

DETAIL: <b>STANDARD NOTES</b> (REQUIRED ON ALL PLAN AND PROFILE SHEETS) SCALE: NOT TO SCALE CFPUA REV. No: 2 01/02/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>WS-14</b> SHEET NO: -
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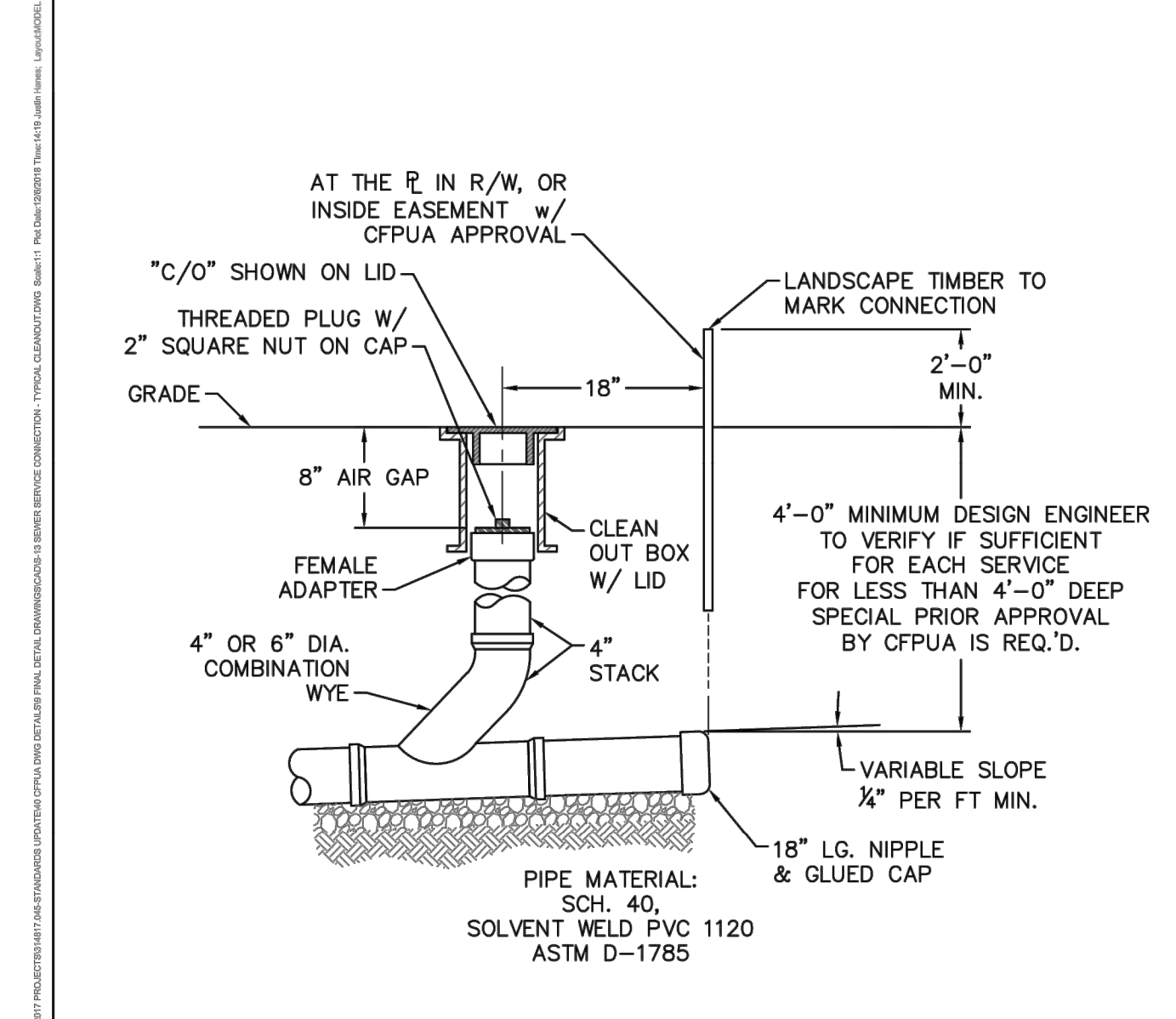
- NOTES:**
- WATER SERVICES SHALL BE INSTALLED PERPENDICULAR TO MAIN AND TERMINATE 18" INSIDE THE RIGHT-OF-WAY LINE.
  - SERVICE SADDLES ON PVC MAINS SHALL BE WIDE BAND BRASS BODY.
  - METER BOXES SUSCEPTIBLE TO TRAFFIC SHALL CONFORM TO ASTM A48, CLASS 30B AND AASHTO H20 LOAD RATING STANDARDS.
  - NON-TRAFFIC METER BOXES SHALL BE PER CFPUA STANDARD MATERIAL.
  - 3" CLEAN FILL REQUIRED ALL AROUND 2" POLY SERVICE LINE.
  - 1 1/2" METER - NL METER SETTER SHALL BE PER CFPUA STANDARD MATERIAL.
  - 2" METER - NL METER SETTER SHALL BE PER CFPUA STANDARD MATERIAL.
  - WATER METER BOXES ARE TO BE A MINIMUM OF 5 FEET FROM THE PROPERTY CORNERS.
  - SERVICE PIPING AND METER SETTER TO BE CENTERED IN THE METER BOX.

DETAIL: <b>COMMERCIAL WATER SERVICE - 1 1/2 OR 2-INCH METERS</b> SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>W-3</b> SHEET NO: -
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- NOTES:**
- CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT FITTINGS.
  - TEST PRESSURE SHALL NOT BE APPLIED FOR A MINIMUM OF 7 DAYS AFTER THRUST BLOCK PLACEMENT.
  - BRANCH SHALL NOT EQUAL RUN DIAMETER UNLESS APPROVED BY CFPUA ENGINEERING.
  - TAPPING SLEEVE & VALVE TO BE HYDROSTATICALLY TESTED AT 150 PSI FOR 15 MINUTES WITH ZERO PRESSURE LOSS.

DETAIL: <b>TAPPING SLEEVE AND VALVE ASSEMBLY (4"-24")</b> SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>WS-9</b> SHEET NO: -
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- NOTES:**
- FOR PRIVATE 8" SERVICES, MANHOLES ARE REQUIRED FOR CONNECTION TO SYSTEM AND AT THE PROPERTY LINE, WITH REQUIRED EASEMENT.
  - CLEANOUTS SHALL BE LOCATED A MINIMUM OF 12 FEET FROM ALL PROPERTY CORNERS.

DETAIL: <b>SEWER SERVICE CONNECTION - TYPICAL CLEAN-OUT</b> SCALE: NOT TO SCALE CFPUA REV. No: 1 01/01/19	<b>CAPE FEAR PUBLIC UTILITY AUTHORITY</b> 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560 Stewardship, Sustainability, Service.	DETAIL NO: <b>S-13</b> SHEET NO: -
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Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

Public Services • Engineering Division

APPROVED DRAINAGE PLAN

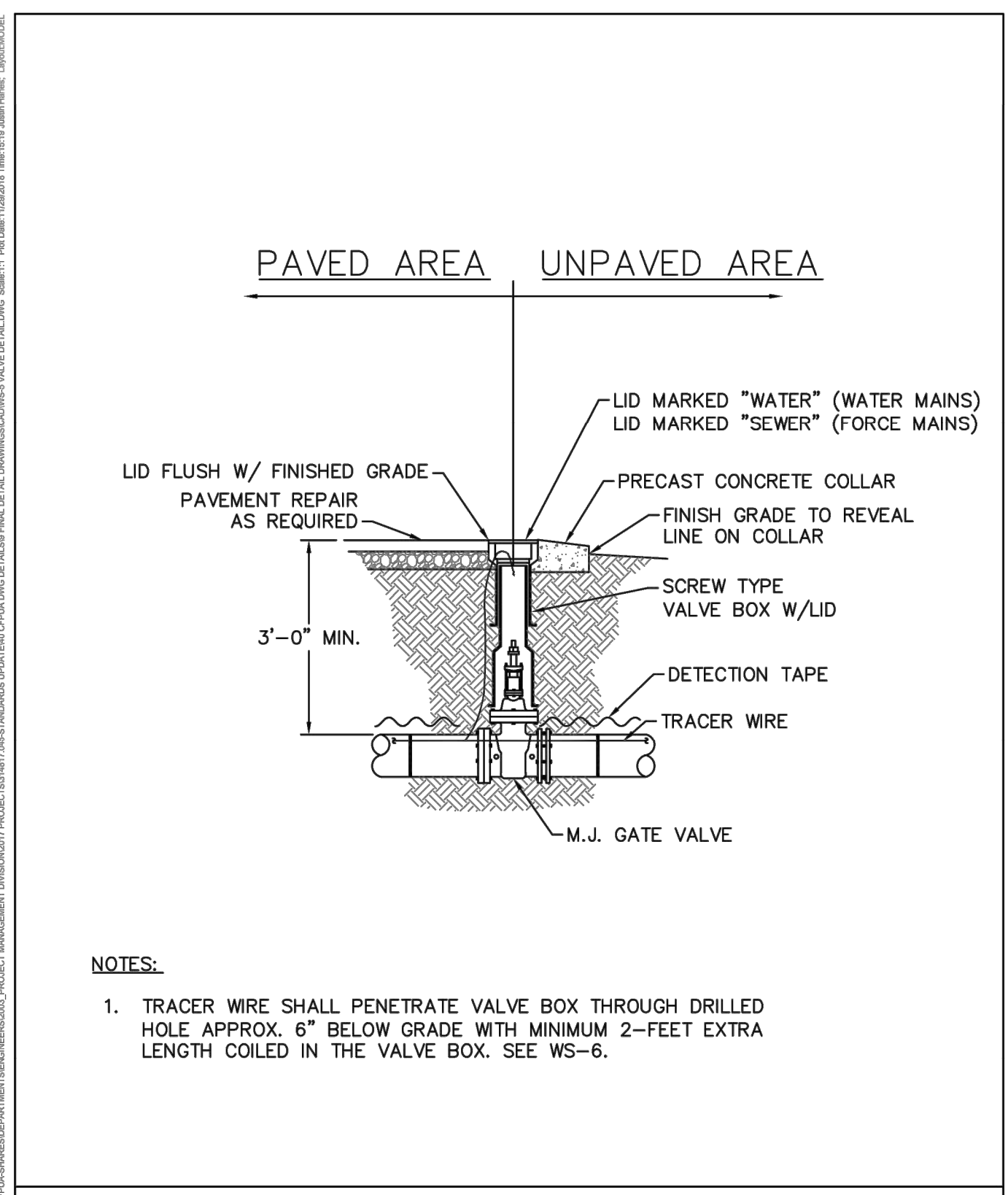
Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

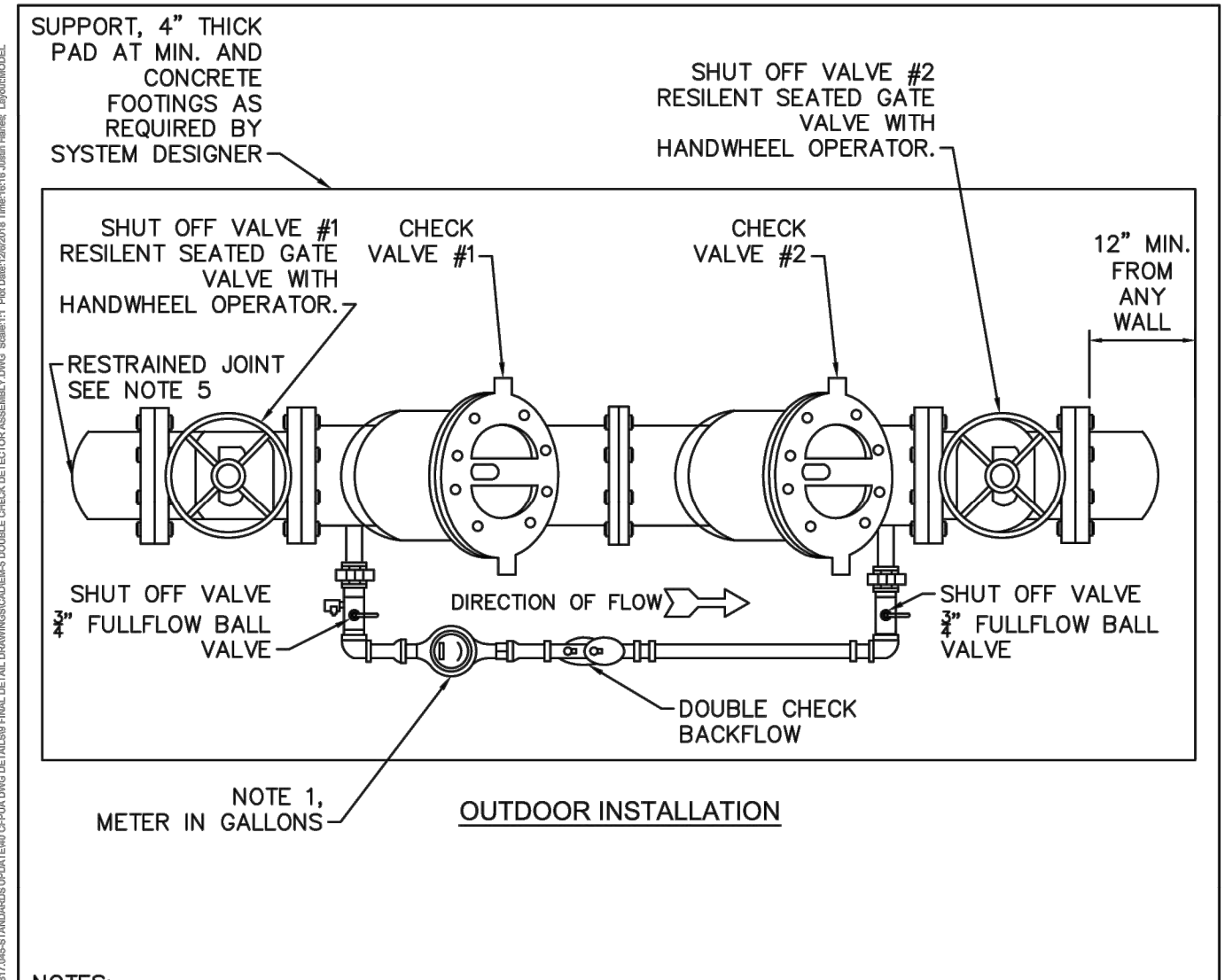
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	<b>UTILITY DETAILS</b>					
	<b>MAYFAIRE SELF DEV. PREPARED FOR CBL PROPERTIES</b>					
	WILMINGTON NC					
	SHEET NUMBER <b>C5.0</b>					

Plotted By: Jackson, Austin Sheet Set: MAYFAIRE SELF DEV. Layout: C5.1 UTILITY DETAILS - March 05, 2020 01:01:31pm K:\VAL\_DEVA\01455010\_mayfair\_self\_dev\05\_08\_cad\_files\05sheets\C5.1 UTILITY DETAILS.dwg  
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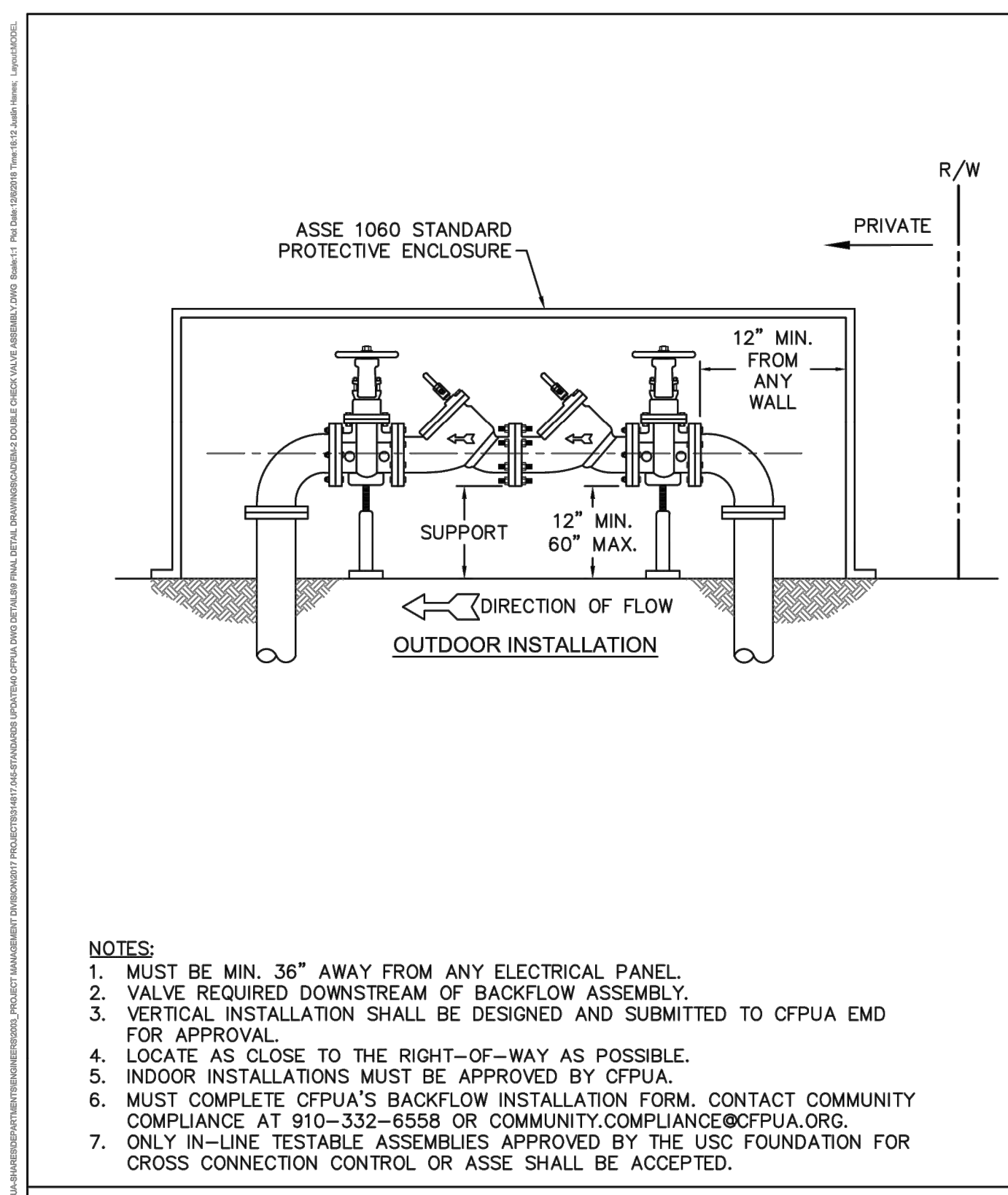


DETAIL: VALVE DETAIL	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO: WS-5
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19	SHEET NO: -
CFPUA REV. No: 1	Stewardship, Sustainability, Service.	

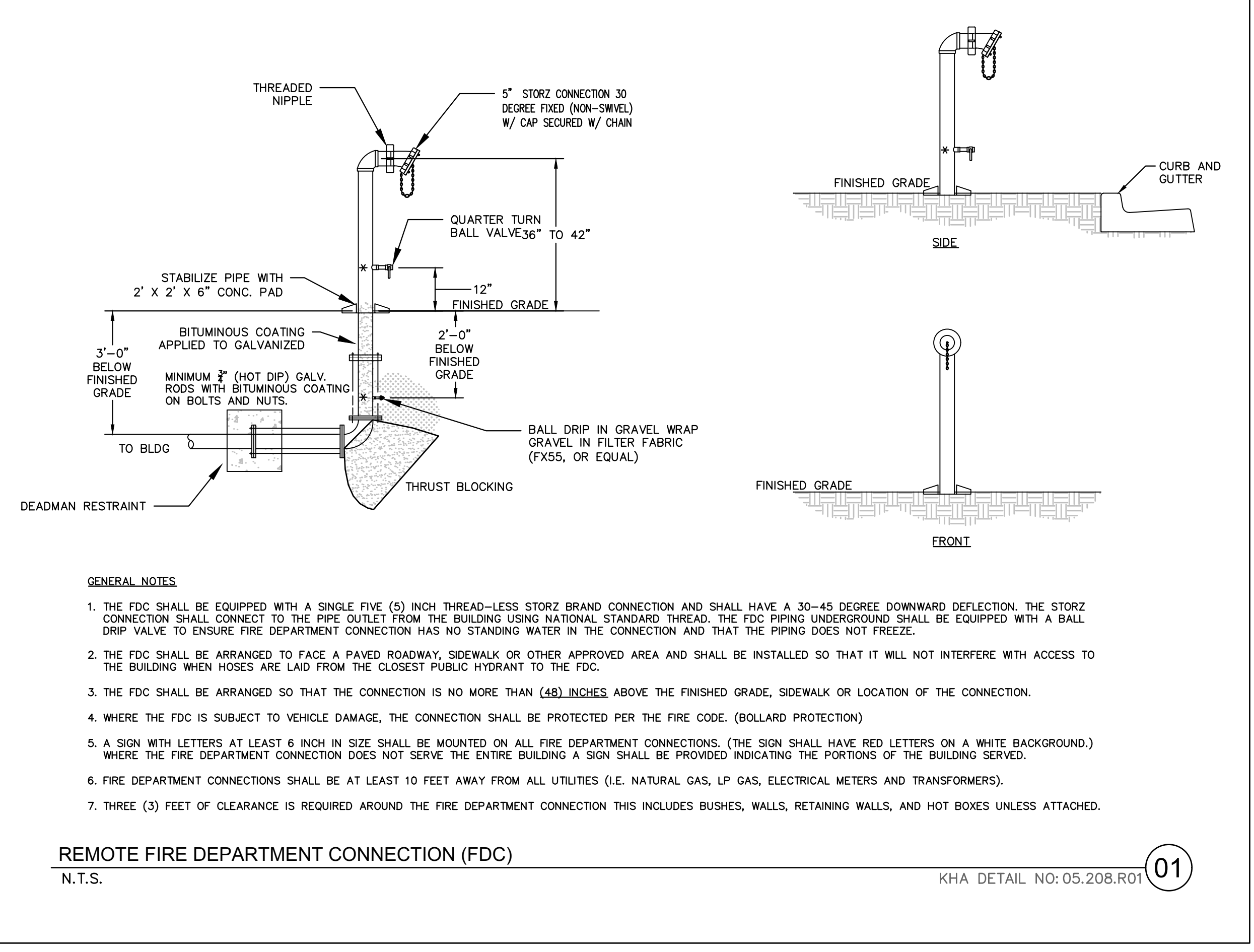


- NOTES:**
- FIRE SERVICE BACKFLOW ASSEMBLIES MUST BE CFPUA APPROVED.
  - ABOVE GROUND DOUBLE CHECK DETECTOR ASSEMBLIES (DCDA) PER CFPUA STANDARDS.
  - 4'-10" DCDA SHALL BE SUPPORTED WITH ADEQUATE SUPPORT PEDESTAL(S).
  - OUTDOOR INSTALLATION SHALL HAVE A PROTECTIVE ENCLOSURE PER CFPUA STANDARDS.
  - MAIN LINE 3" BRASS, K-COPPER OR GALVANIZED PIPE, 4" TO 10" DIP. RESTRAINED JOINTS SHALL BE FLANGED OR APPROVED EQUAL.
  - CFPUA APPROVED 3' - 10" DCDA INCLUDES SHUT OFF VALVES #1 AND #2. AS PART OF THE ASSEMBLY. NO SUBSTITUTIONS SHALL BE PERMITTED.
  - TEST COCK #1 SHALL BE UPSTREAM OF SHUT OFF VALVE #1 AND IS PART OF THE APPROVED ASSEMBLY.
  - MUST COMPLETE CFPUA'S BACKFLOW INSTALLATION FORM. CONTACT COMMUNITY COMPLIANCE AT 910-332-6558 OR EMAIL COMMUNITY.COMPLIANCE@CFPUA.ORG.
  - ONLY IN-LINE TESTABLE ASSEMBLIES APPROVED BY THE USC FOUNDATION FOR CROSS CONNECTION CONTROL OR ASSE SHALL BE ACCEPTED.

DETAIL: FIRE SERVICE DOUBLE CHECK DETECTOR ASSEMBLY	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO: EM-5
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19	SHEET NO: -
CFPUA REV. No: 1	Stewardship, Sustainability, Service.	

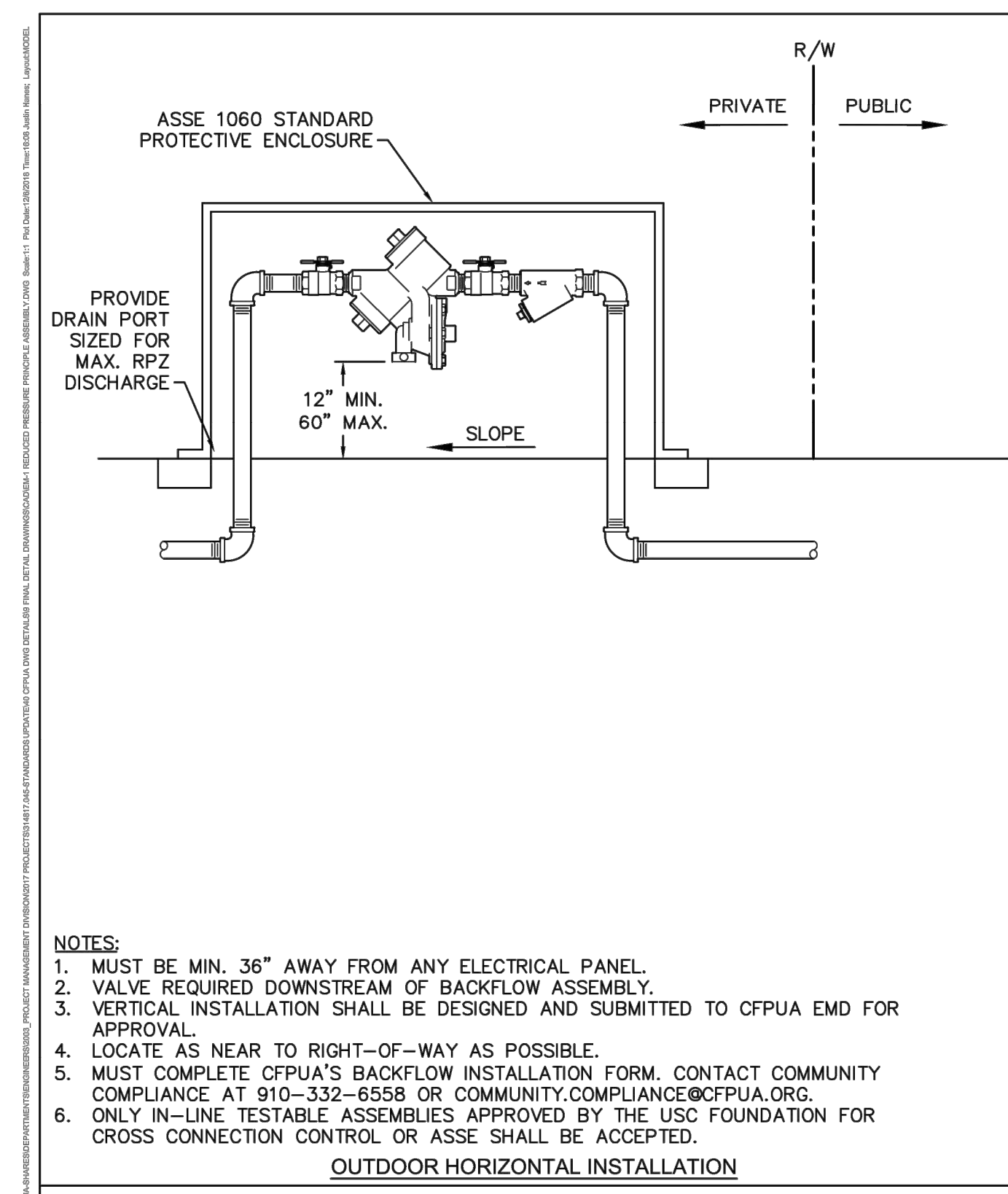


DETAIL: DOUBLE CHECK VALVE ASSEMBLY	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO: EM-2
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19	SHEET NO: -
CFPUA REV. No: 1	Stewardship, Sustainability, Service.	

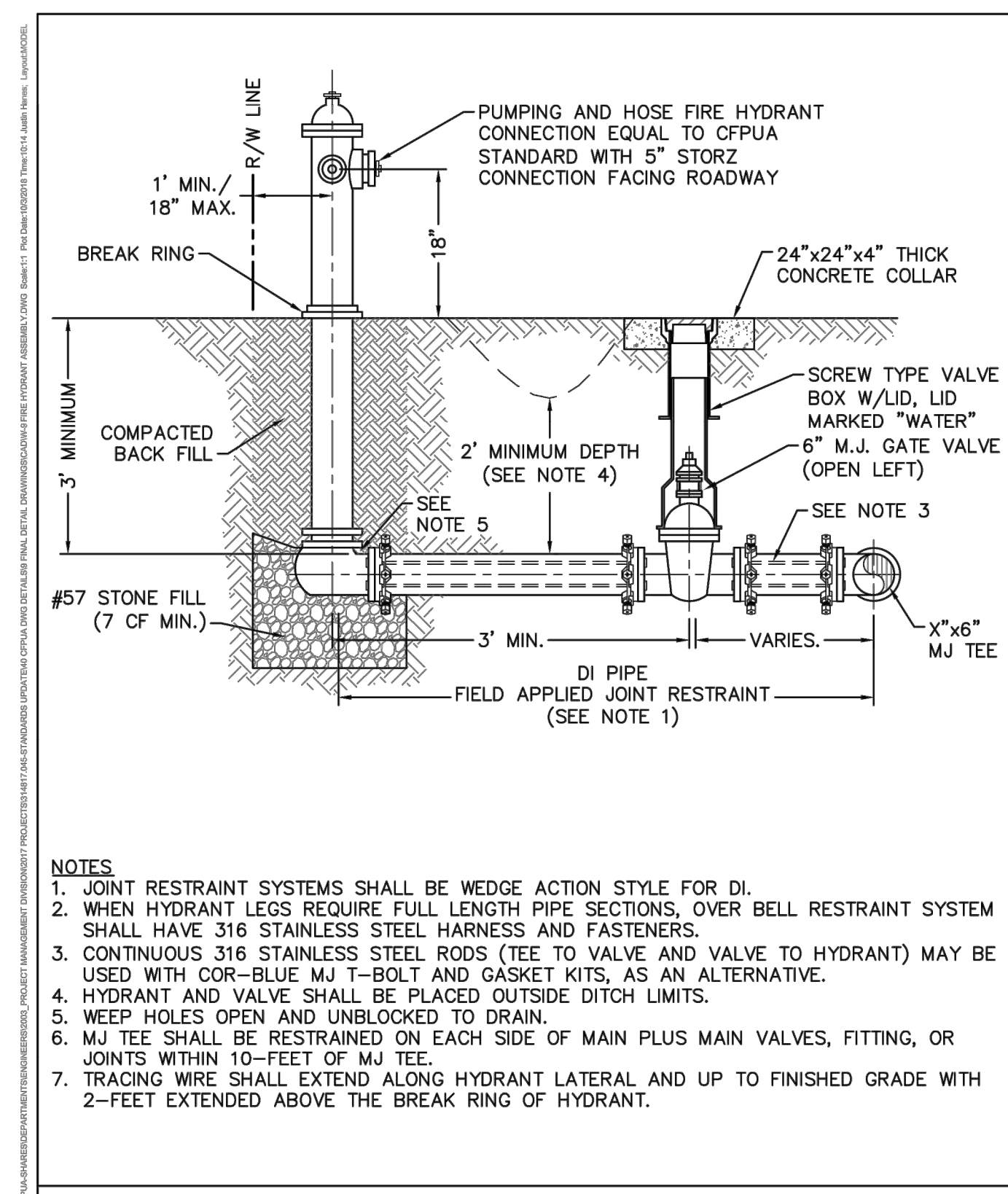


**REMOTE FIRE DEPARTMENT CONNECTION (FDC)**  
N.T.S.

KHA DETAIL NO: 05.208.R01 01



DETAIL: REDUCED PRESSURE PRINCIPLE ASSEMBLY	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO: EM-1
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19	SHEET NO: -
CFPUA REV. No: 1	Stewardship, Sustainability, Service.	



DETAIL: FIRE HYDRANT ASSEMBLY	CAPE FEAR PUBLIC UTILITY AUTHORITY 235 GOVERNMENT CENTER DRIVE WILMINGTON, NC 28403 OFFICE: (910)332-6560	DETAIL NO: W-9
SCALE: NOT TO SCALE	CFPUA DETAIL DATE: 01/01/19	SHEET NO: -
CFPUA REV. No: 1	Stewardship, Sustainability, Service.	

**CITY OF WILMINGTON**  
NORTH CAROLINA  
Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_

Traffic \_\_\_\_\_

Fire \_\_\_\_\_

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

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**UTILITY DETAILS**

**MAYFAIRE SELF DEV.**  
PREPARED FOR  
**CBL PROPERTIES**

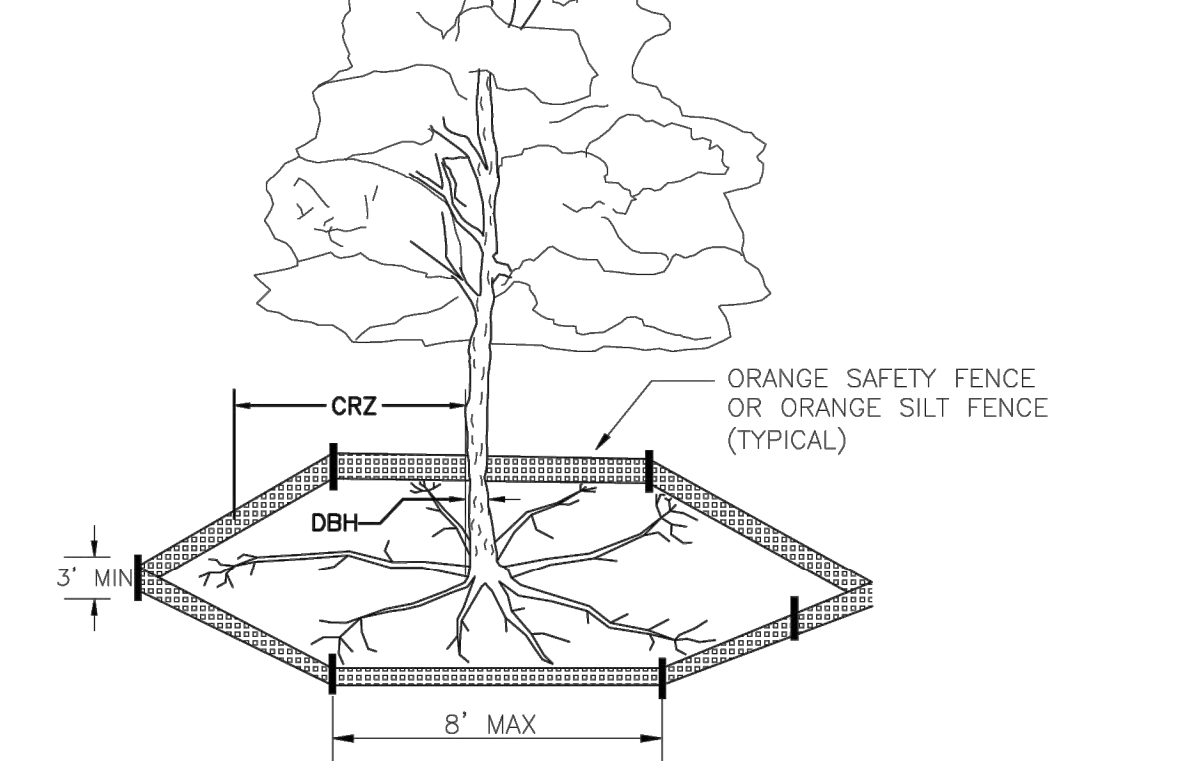
5	REVISED PER OWNER REQUEST	03/06/20	JAL	DATE
4	REVISED PER FIELD CONDITIONS	01/15/20	DS	BY
3	REVISED PER NCDOT COMMENTS	10/30/19	DS	
2	TRC SIGNATURE SET	10/15/19	DS	
1	REVISED PER TRC COMMENTS	08/29/19	DS	
No.	REVISIONS			

WILMINGTON

SHEET NUMBER  
**C5.1**

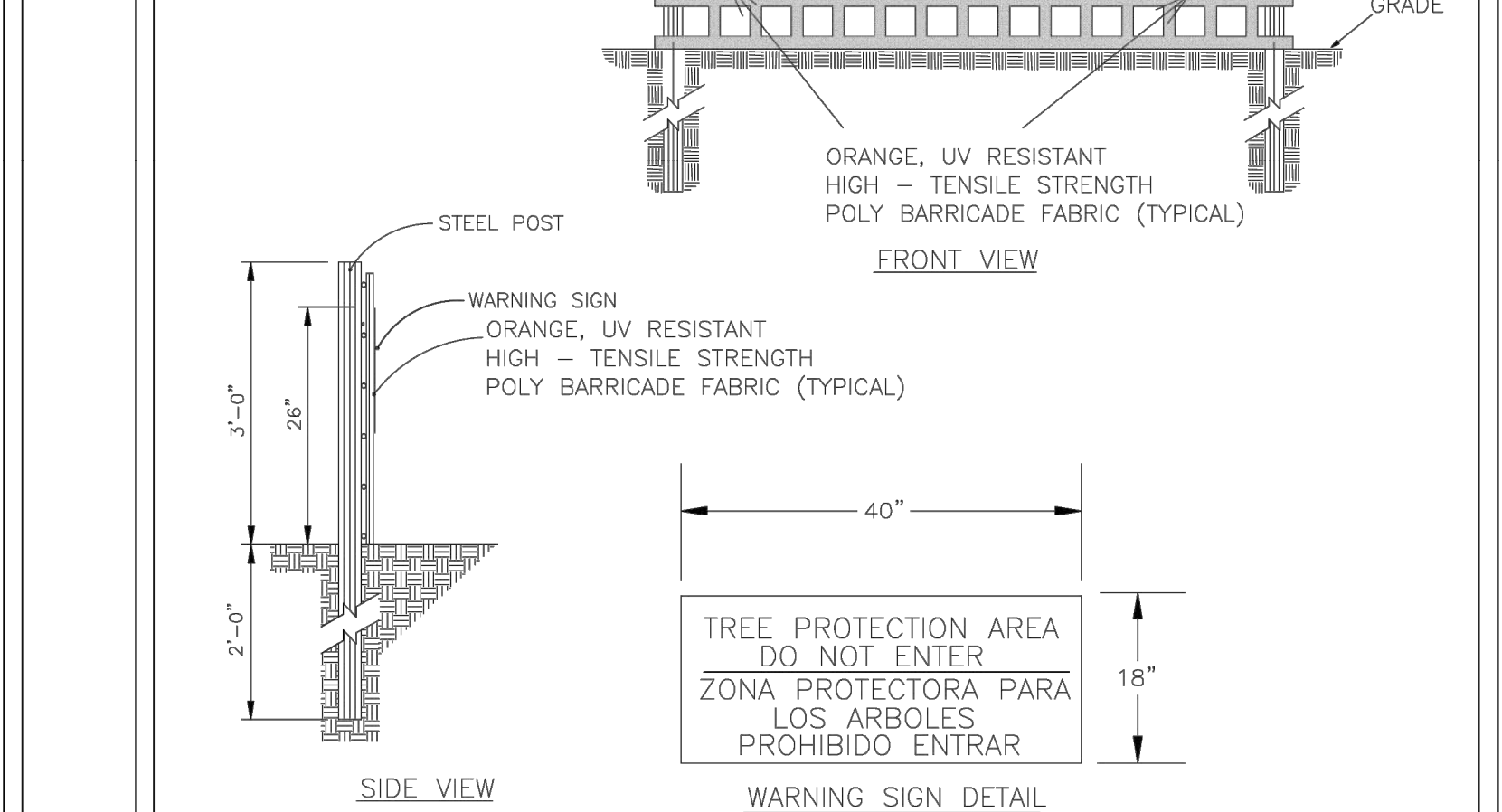
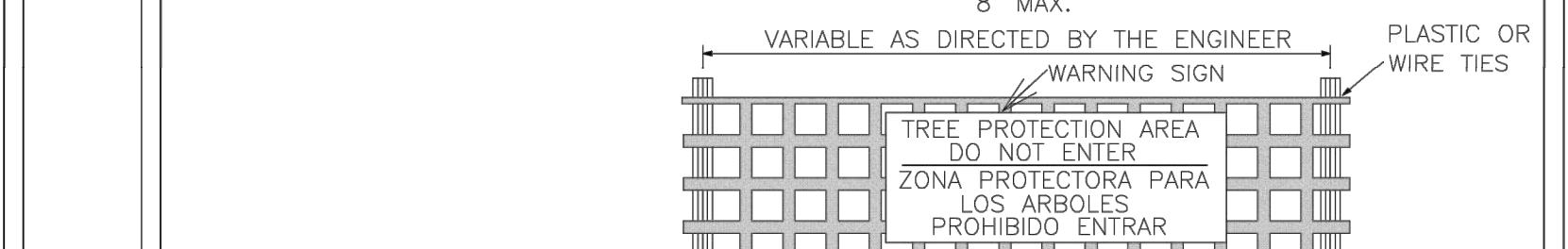
Plotted by: Jackson, Austin | Sheet Set: MAYFAIRE SELF DEV... | K:\ARL\1455010\proj\for\_eaef\dev\01\455010\erocntrl\_details.dwg | This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

NOTE: THE CRITICAL ROOT ZONE (CRZ) OF A TREE IS WHERE THE MAJORITY OF A TREE'S ROOTS LAY. 85% OF MOST TREE ROOTS ARE FOUND IN THE TOP 24" OF THE SOIL AND SUPPLY THE MAJORITY OF NUTRIENTS AND WATER. GENERALLY, ROOTS SPREAD OUT 2-3X THE HEIGHT OF THE TREE.



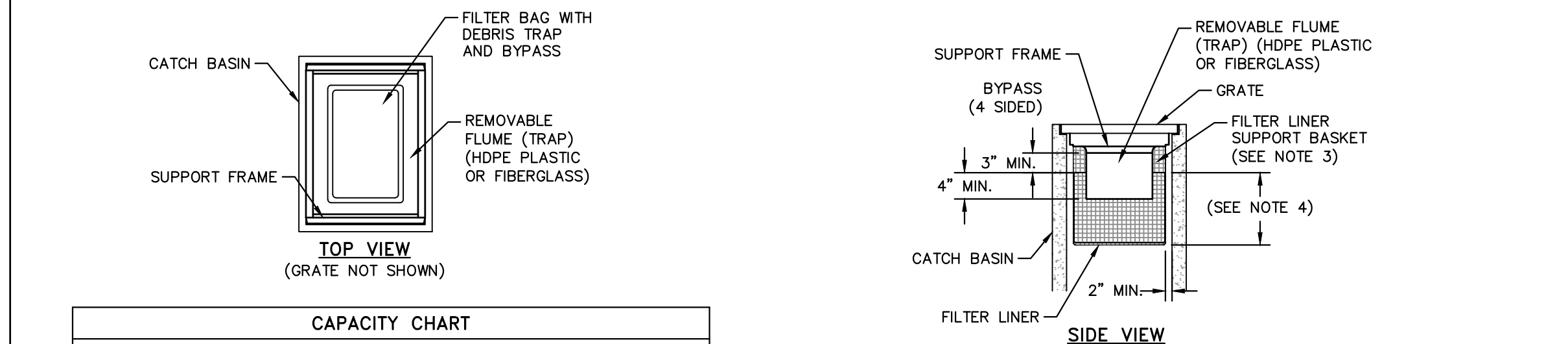
- NOTES: 1. PROTECT CRITICAL ROOT ZONE (CRZ) OF TREES PRIOR TO CONSTRUCTION. CLEARLY MARK THE TREES AND ERECT A PROTECTIVE BARRIER AT THE CRZ. BARRIER SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE.

STANDARD DETAIL TREE PROTECTION DURING CONSTRUCTION SHEET 1 of 2



- NOTES: 1. THE TREE PROTECTION FENCING SHALL NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT WITHOUT APPROVAL FROM URBAN FORESTRY STAFF.

STANDARD DETAIL TREE PROTECTION DURING CONSTRUCTION SHEET 2 of 2



CAPACITY CHART table with columns: MODEL NO., INLET SIZE, LINER DEPTH, STORAGE CAPACITY\*, CLEAN FLOW RATE\*\*.

CATCH BASIN SILT PROTECTION INSERT N.T.S. KHA DETAIL NO: 01.203.R01

HERBACEOUS PLANTS-Seedling recommendations for immediate stabilization/nurse crops (2 to 5 weeks for development; effectiveness goal: 6 months to 1 year stabilization) Table 6.11.a

HERBACEOUS PLANTS-Seedling recommendations for primary stabilization (Successful development depends on planting date (effectiveness goal: 6 mo. - 3 yrs. without an ongoing maintenance program) Table 6.11.b

PERMANENT SEEDING RECOMMENDATIONS N.T.S. KHA DETAIL NO: 03

Table 6.10a Temporary Seeding Recommendations for Late Winter and Early Spring. Includes seeding mixture, species, and rate (lb/acre).

Table 6.10b Temporary Seeding Recommendations for Summer. Includes seeding mixture, species, and rate (lb/acre).

Table 6.10c Temporary Seeding Recommendations for Fall. Includes seeding mixture, species, and rate (lb/acre).

Table 6.10d Temporary Seeding Recommendations for Spring. Includes seeding mixture, species, and rate (lb/acre).

Approved Construction Plan form with fields for Name, Date, Planning, Traffic, Fire.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

Revisions table with columns for No., Date, and Description.

Kimley-Horn logo and address: 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601

KHA PROJECT 011455010 DATE 10/31/2019

EROSION CONTROL DETAILS

MAYFAIRE SELF DEV. PREPARED FOR CBL PROPERTIES. SHEET NUMBER 06.0

Plotted by: Jackson, Austin Sheet Set: MAYFAIRE SELF DEV. Layout: CBL1. EROSION CONTROL DETAILS - March 05, 2020 01:01:38pm. K:\RAL\DEVA\1455010\_max\gdr\_self\_dev\1455010\_max\gdr\_self\_dev.dwg. This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

**GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT**  
Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

**SECTION E: GROUND STABILIZATION**

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

**Note:** After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

**GROUND STABILIZATION SPECIFICATION**

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"><li>Temporary grass seed covered with straw or other mulches and tackifiers</li><li>Hydroseeding</li><li> Rolled erosion control products with or without temporary grass seed</li><li> Appropriately applied straw or other mulch</li><li> Plastic sheeting</li></ul>	<ul style="list-style-type: none"><li>Permanent grass seed covered with straw or other mulches and tackifiers</li><li> Geotextile fabrics such as permanent soil reinforcement matting</li><li> Hydroseeding</li><li> Shrubs or other permanent plantings covered with mulch</li><li> Uniform and evenly distributed ground cover sufficient to restrain erosion</li><li> Structural methods such as concrete, asphalt or retaining walls</li><li> Rolled erosion control products with grass seed</li></ul>

**POLYACRYLAMIDES (PAMS) AND FLOCCULANTS**

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

**EQUIPMENT AND VEHICLE MAINTENANCE**

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

**LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE**

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and do not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

**PAINT AND OTHER LIQUID WASTE**

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

**PORTABLE TOILETS**

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

**EARTHEN STOCKPILE MANAGEMENT**

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.

**HAZARDOUS AND TOXIC WASTE**

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

**HERBICIDES, PESTICIDES AND RODENTICIDES**

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION A: SELF-INSPECTION**

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) EESC Measures	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Action taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event $\geq$ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, from (Title) of the permit.
(6) Ground stabilization measures.	After each phase of grading	1. The phase of grading installation of permanent EESC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land disturbing activity, construction or redevelopment, permanent ground cover. 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION B: RECORDKEEPING**

**1. EESC Plan Documentation**  
The approved EESC plan as well as any approved deviation shall be kept on the site. The approved EESC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the EESC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each EESC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved EESC plan.	Initial and date each EESC measure on a copy of the approved EESC plan or complete, date and sign an inspection report that lists each EESC measure shown on the approved EESC plan. This documentation is required upon the initial installation of the EESC measures or if the EESC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved EESC plan.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all EESC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to EESC measures.	Initial and date a copy of the approved EESC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

**2. Additional Documentation to be Kept on Site**  
In addition to the EESC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

**3. Documentation to be Retained for Three Years**  
All data used to complete the NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING**

**SECTION C: REPORTING**

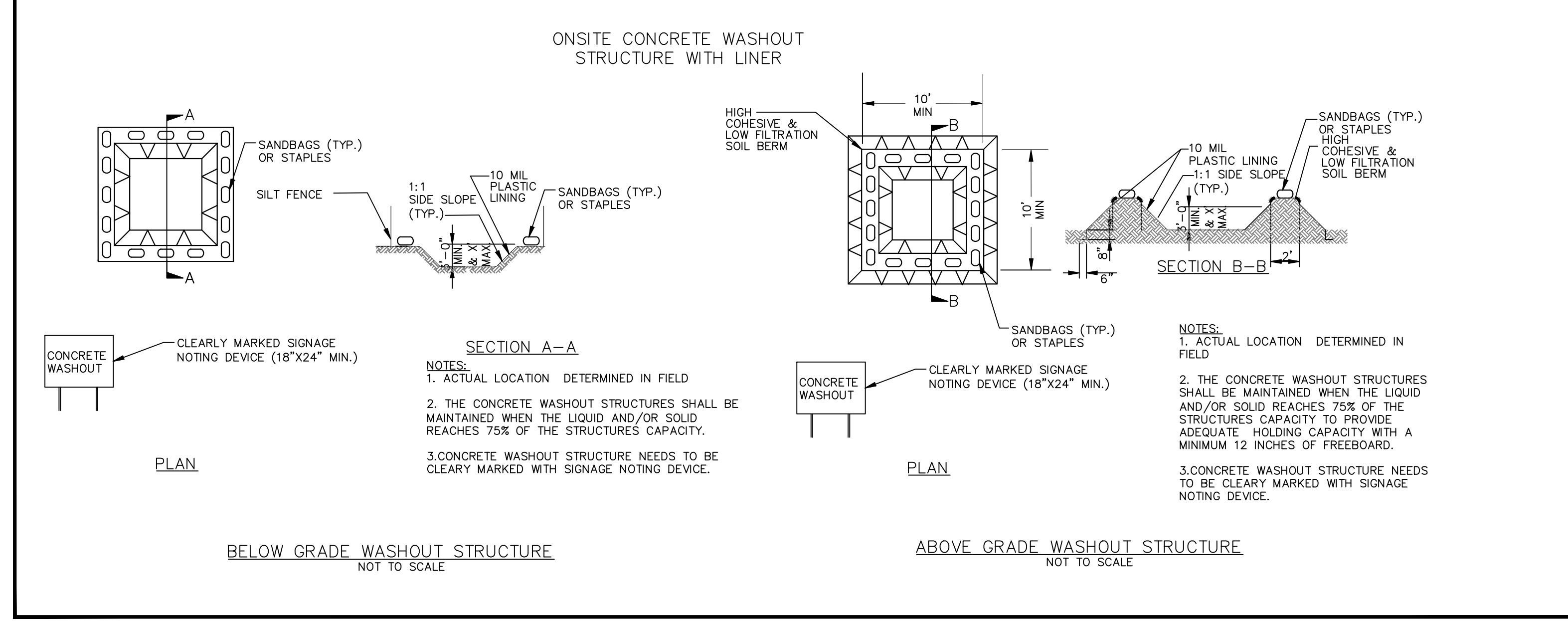
**1. Occurrences that Must be Reported**  
Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
  - They are 25 gallons or more,
  - They are less than 25 gallons but cannot be cleaned up within 24 hours,
  - They cause sheen on surface waters (regardless of volume), or
  - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

**2. Reporting Timeframes and Other Requirements**

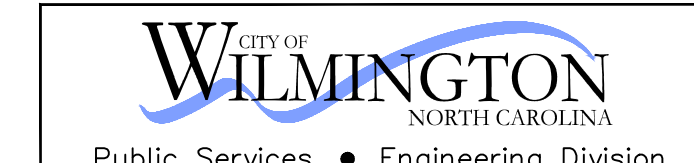
After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification</li><li><b>Within 7 calendar days</b>, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.</li><li>If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.</li></ul>
(b) Oil spills and release of hazardous substances per item 1(b)-(c) above	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.</li></ul>
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"><li><b>A report at least ten days before the date of the bypass, if possible.</b> The report shall include an evaluation of the anticipated quality and effect of the bypass.</li></ul>
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification.</li><li><b>Within 7 calendar days</b>, a report that includes an evaluation of the quality and effect of the bypass.</li></ul>
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(f)(7)]	<ul style="list-style-type: none"><li><b>Within 24 hours</b>, an oral or electronic notification.</li><li><b>Within 7 calendar days</b>, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(f)(6).</li><li>Division staff may waive the requirement for a written report on a case-by-case basis.</li></ul>



**CONCRETE WASHOUTS**

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.



Public Services • Engineering Division  
APPROVED DRAINAGE PLAN

Date: \_\_\_\_\_ Permit # \_\_\_\_\_

Signed: \_\_\_\_\_

Approved Construction Plan

Name \_\_\_\_\_ Date \_\_\_\_\_

Planning \_\_\_\_\_  
Traffic \_\_\_\_\_  
Fire \_\_\_\_\_

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

NO.	REVISIONS	DATE	BY
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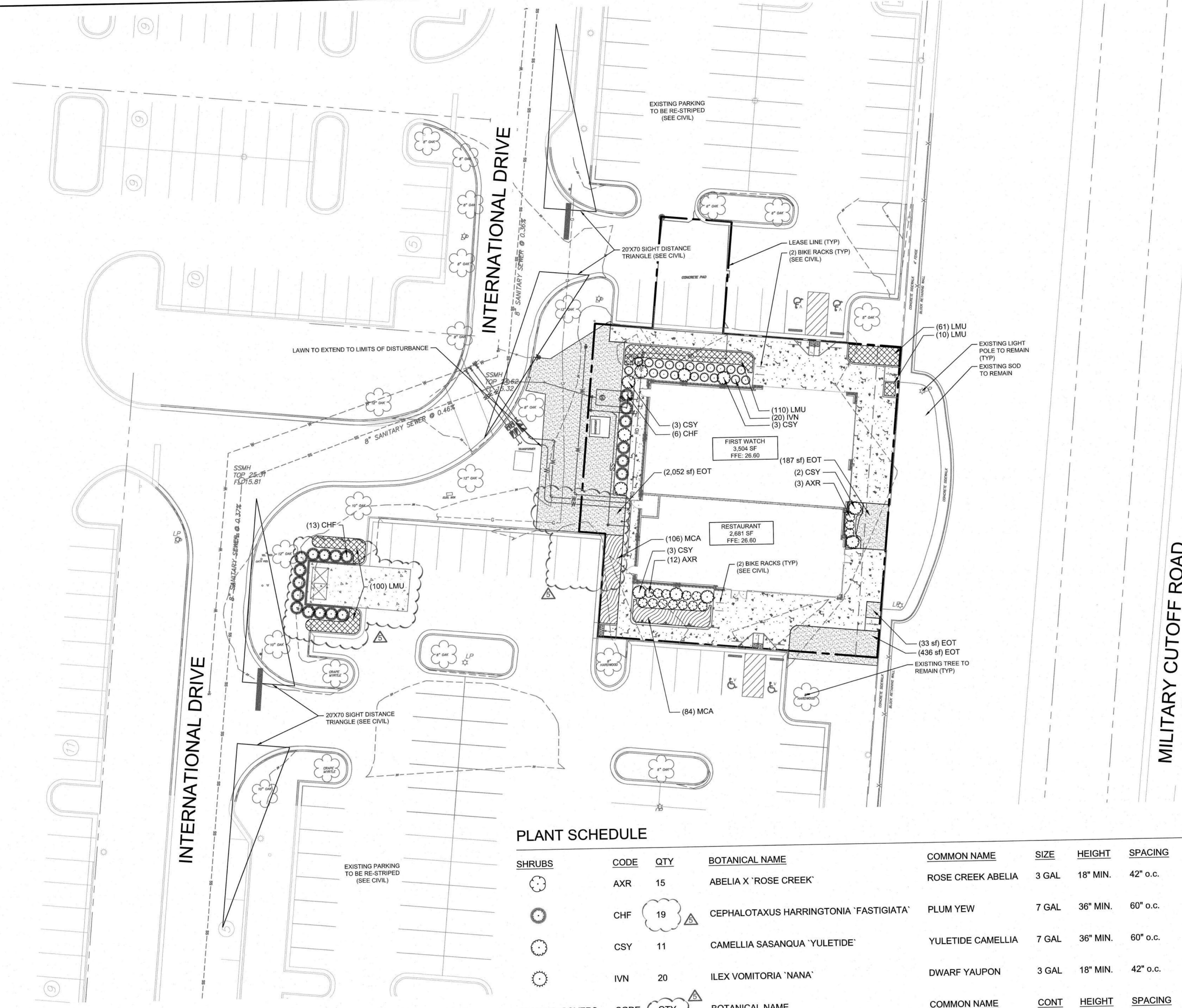
**Kimley»Horn**  
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421 YATTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
PHONE: 919-677-2000 FAX: 919-677-2050  
WWW.KIMLEY-HORN.COM  
#F-0102

**EROSION CONTROL DETAILS**

**MAYFAIRE SELF DEV.**  
PREPARED FOR  
**CBL PROPERTIES**  
WILMINGTON, NC

Plotted By: jackson, Austin Sheet: MAYFAIRE SELF DEV LAYOUT L1.0 LANDSCAPE PLAN March 05, 2020 01:01:53pm K:\BAL\_LDEV\011455010\_mayfair\_self\_dev\08\_cad\_files\landscapes\L1.0 LANDSCAPE PLAN.dwg  
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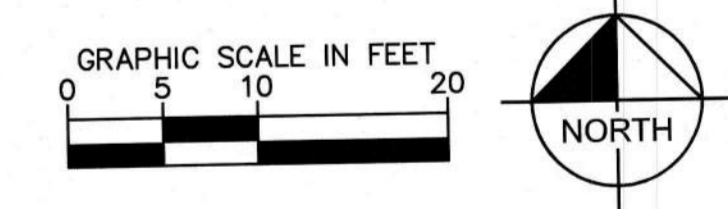
LANDSCAPE REQUIREMENTS & CALCULATIONS					
Wilmington UDO					
AREA TO BE LANDSCAPED	CODE REQUIREMENT	SQUARE FEET/ LINEAR FEET	TOTAL QUANTITY REQUIRED	TOTAL QUANTITY PROVIDED	CODE SECTION
FOUNDATION PLANTINGS	AREA OF BUILDING FACE ADJACENT TO PARKING AREA OR INTERNAL PARKING MULTIPLIED BY 12%	3,840 SF	BUILDING HEIGHT = 24' LENGTH OF BUILDING ADJACENT TO PARKING AREA = 160' (160 X 24 = 3,840) X 12% = 460 SF	1,445 SF	18-490
DUMPSTER SCREENING	SCREENING SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT ALONG THE FRONT OR CORNER SIDE OF ANY LOT AND EIGHT (8) FEET IN HEIGHT ALONG ANY SIDE OR REAR PROPERTY LINE.	N/A	6' TALL SCREENING HEDGE	13 SHRUBS, MATURE HEIGHT 6-8'	18-504



**PLANT SCHEDULE**

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPACING
	AXR	15	ABELIA X 'ROSE CREEK'	ROSE CREEK ABELIA	3 GAL	18" MIN.	42" o.c.
	CHF	19	CEPHALOTAXUS HARRINGTONIA 'FASTIGIATA'	PLUM YEW	7 GAL	36" MIN.	60" o.c.
	CSY	11	CAMELLIA SASANQUA 'YULETIDE'	YULETIDE CAMELLIA	7 GAL	36" MIN.	60" o.c.
	IVN	20	ILEX VOMITORIA 'NANA'	DWARF YAUPON	3 GAL	18" MIN.	42" o.c.
GROUND COVERS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPACING
	LMU	281	LIRIOPE MUSCARI	LILY TURF	1 GAL		18" o.c.
	MCA	190	MUHLENBERGIA CAPILLARIS	PINK MUHLY	1 GAL		18" o.c.
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	HEIGHT	SPACING
	EOT	2,841 SF	EREMOCHLOA OPHIUROIDES 'TIF BLAIR' TM	CENTIPEDE GRASS	SOD		

**NOTES:**  
 PROPOSED IMPROVEMENTS WITHIN THE SIGHT DISTANCE TRIANGLES SHALL NOT INTERFERE WITH THE CLEAR VISUAL SIGHT LINES FROM 30 INCHES TO 10 FEET.



**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_  
 LIMITS OF DISTURBANCE: 0.45 ACRES  
 EXISTING INFORMATION SHOWN TAKEN FROM TOPOGRAPHIC SURVEY TITLED: "TOPOGRAPHIC SURVEY OF 1035 INTERNATIONAL DRIVE" DATED MAY 22, 2019. PROVIDED BY GSC SURVEYING OF 4070 BARRETT DRIVE, RALEIGH, NC 27609.  
 ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

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2	TRC SIGNATURE SET	10/15/19 DS	
1	REVISED PER TRC COMMENTS	08/29/19 DS	

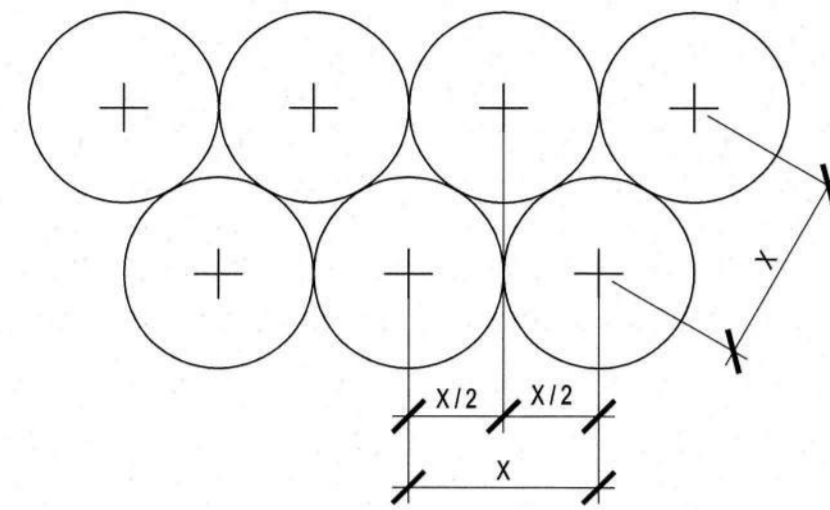
**Kimley»Horn**  
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 421 FAYETTEVILLE STREET, SUITE 600, RALEIGH, NC 27601  
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 #F-0102

KHA PROJECT	011455010
DATE	10/31/2019
SCALE	AS SHOWN
DESIGNED BY	VAO
DRAWN BY	VAO
CHECKED BY	DSG

**LANDSCAPE PLAN**

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**  
 WILMINGTON, NC  
 SHEET NUMBER  
**L1.0**

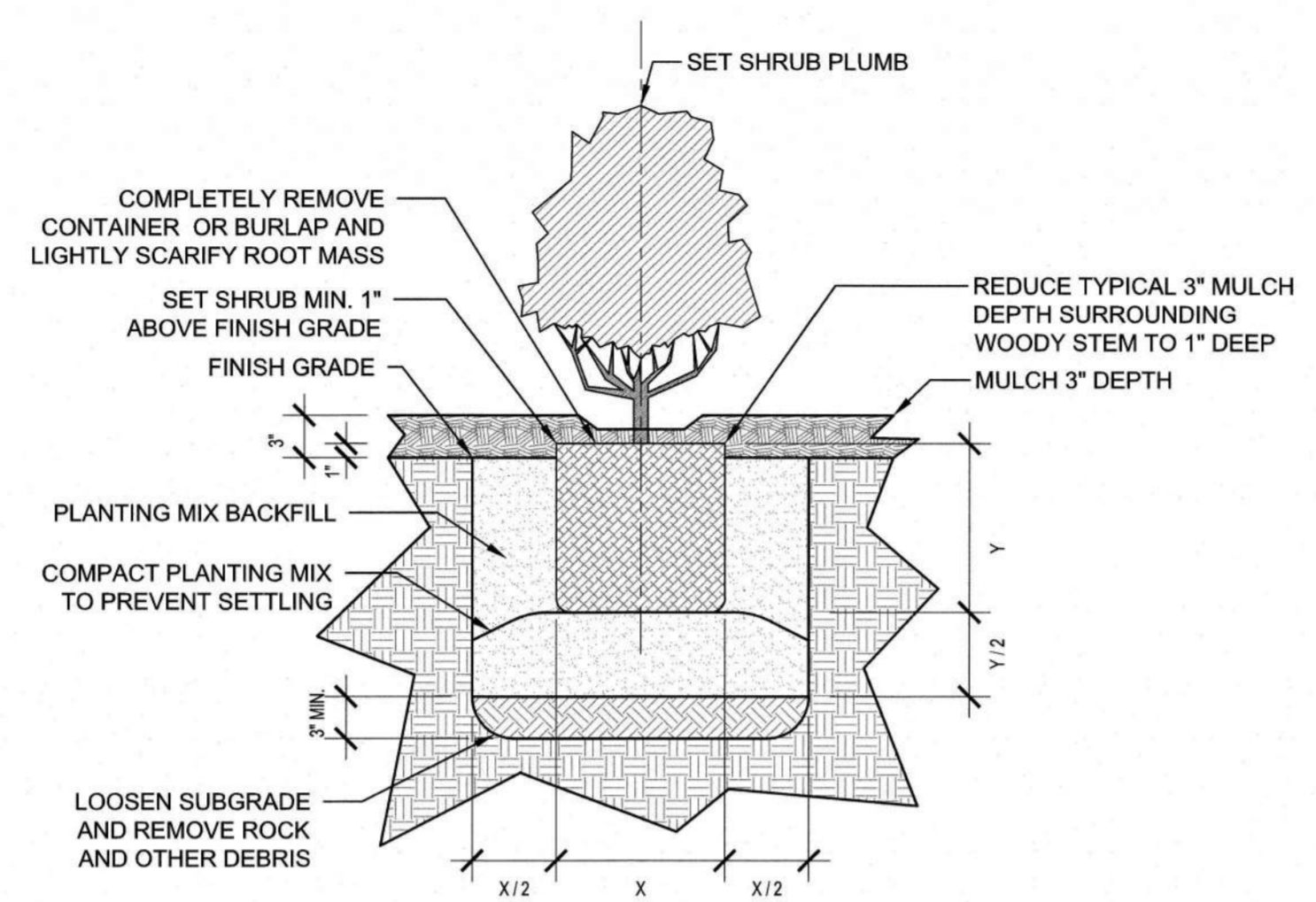
PLOTTED BY JACKSON, AUSTIN - SHEET: MAYFAIRE SELF DEV. LAYOUT L2.0 LANDSCAPE DETAILS - MARCH 05, 2020 01:02:01pm - K:\RAL\_UIDVA\01455010\_mayfair\_self\_dev\08\_cad\_files\plan\sheet\l2.0 LANDSCAPE DETAILS.dwg  
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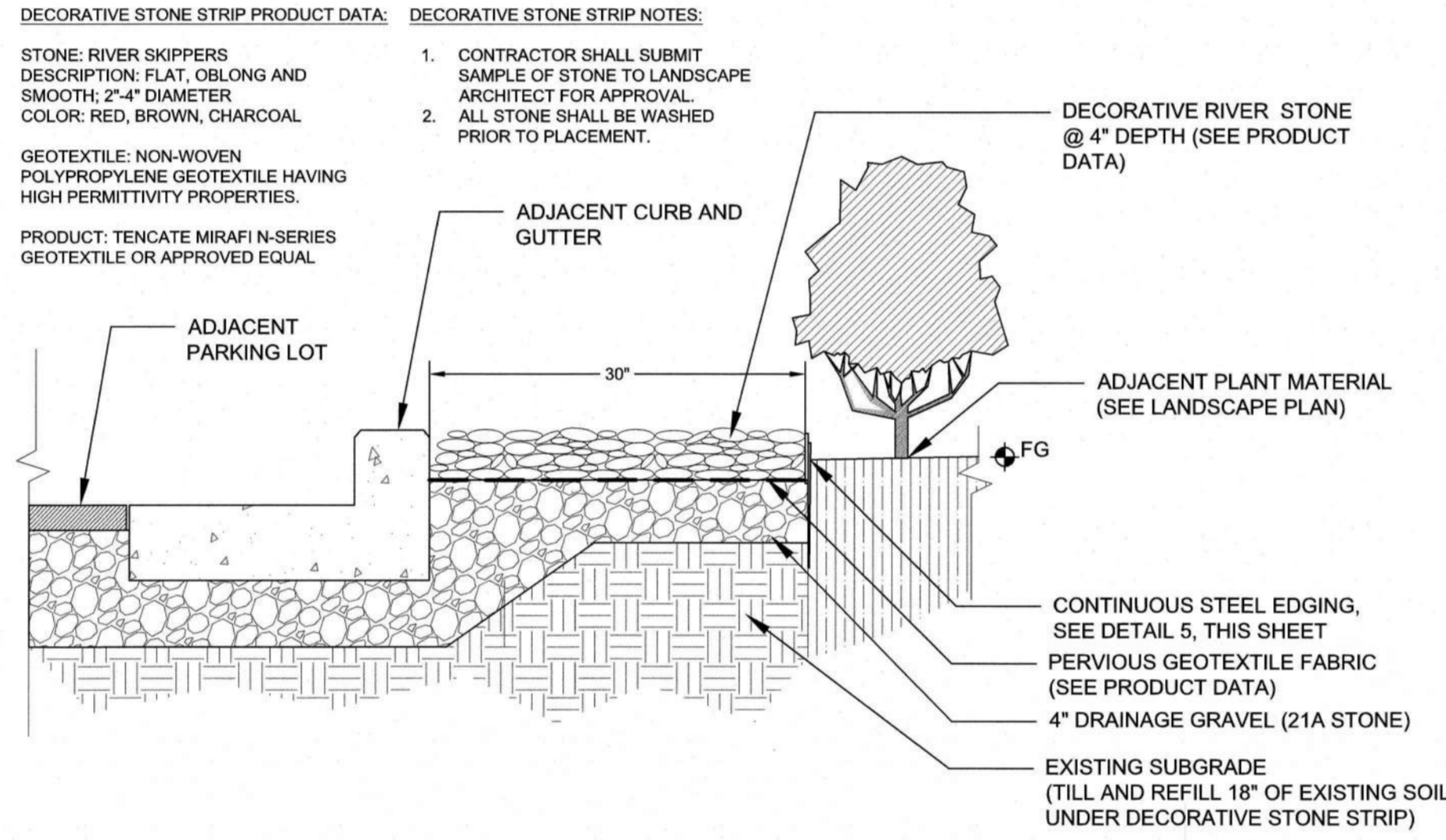
**PLANT SPACING NOTES:**

- SEE PLANTING PLAN FOR SHRUB AND GROUND COVER AREAS.
- PLANT MATERIAL SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
- SEE PLANTING PLAN AND PLANT SCHEDULE FOR PLANT SPACING REQUIREMENTS.

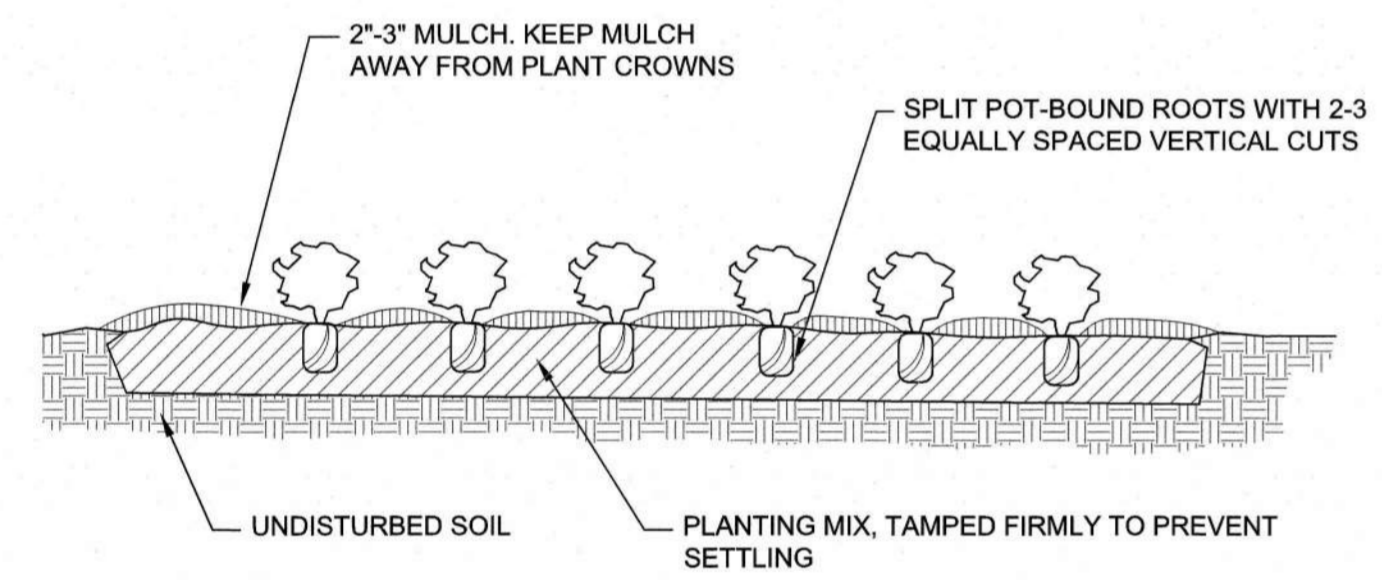
**1**  
L2.0  
SCALE: NTS  
**TYPICAL STAGGERED ROW PLANT SPACING**



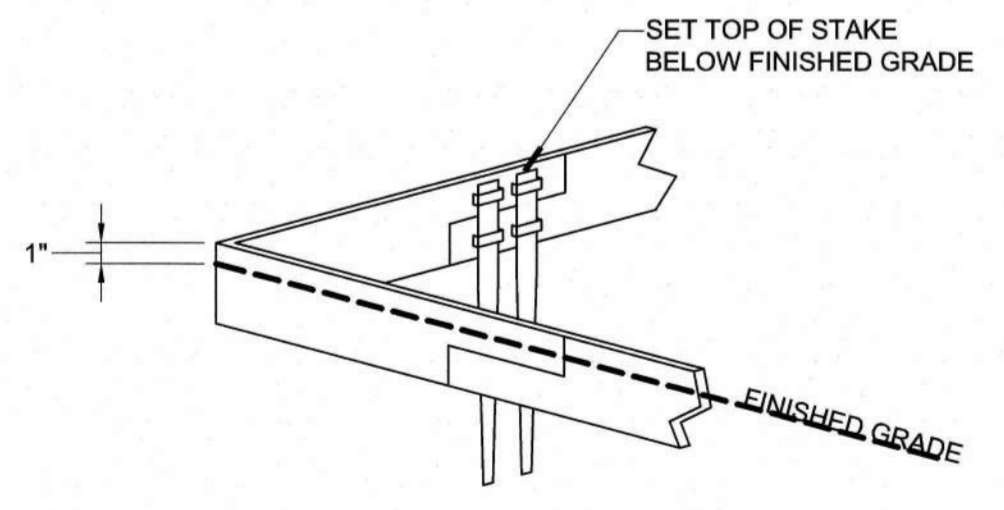
**2**  
L2.0  
SCALE: 1"=1'-0"  
**TYPICAL SHRUB PLANTING**



**4**  
L2.0  
SCALE: 1"=1'-0"  
**DECORATIVE STONE STRIP**



**3**  
L2.0  
SCALE: NTS  
**TYPICAL GROUND COVER PLANTING**



**STEEL LANDSCAPE EDGING PRODUCT DATA:**

MANUFACTURER: BORDER CONCEPTS, INC.  
 PRODUCT: BORDER GUARD WITH STANDARD STAKES  
 SIZE: 3/16" THICKNESS X 6" HEIGHT  
 COLOR: BLACK

USE UNIVERSAL CORNERS AND TREE RINGS PIECES AS NECESSARY

**5**  
L2.0  
N.T.S.  
**STEEL LANDSCAPE EDGING**

**GENERAL LANDSCAPE NOTES:**

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT SCHEDULE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL EXISTING SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6'-7' PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES. ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN. 8' (MEASURED FROM ADJACENT PROJECTED CURB LINE ELEVATION) PER ANSI Z60.1 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS. ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERINGS, MOWING, EDGING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF FINAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANTING BEDS AND SOD LINES PRIOR TO INSTALLATION.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL SHRUB, GROUND COVER AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SHREDDED HARDWOOD MULCH TO A MINIMUM DEPTH OF THREE (3) INCHES.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE ROOT FLAIR SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS; REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL OR UNCOMPACT AND AMEND THE TOP 24" OF EXISTING SOIL TO MEET TOPSOIL PLANTING MIX STANDARDS FOR TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND ZONING ORDINANCE COMPLIANCE. FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND TO RAKE ENTIRE SITE.
- THE CONTRACTOR SHALL INSTALL PERMEABLE BLACK GEOTEXTILE FABRIC UNDER PLANTING BED MULCH TO PREVENT WEED GROWTH.
- CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER SODDING AND PLANTING SHRUBS, AND 60 DAYS AFTER SEEDING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STAND OF THE SPECIFIED GRASSES, OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL ACCEPTANCE OF THE LAWNS AND SHRUBS, WHICHEVER IS LATER.
- ALL MECHANICAL EQUIPMENT, WASTE DISPOSAL FACILITIES, AND VEHICULAR USE AREAS (DRIVES AND PARKING) SHALL BE SCREENED FROM PUBLIC VIEW.
- WHERE EXISTING OR PROPOSED VEGETATION FAILS TO FUNCTION ADEQUATELY AS REQUIRED, THE NEW HANOVER COUNTY SITE INSPECTOR RESERVES THE RIGHT TO REQUIRE SUPPLEMENTAL PLANTINGS IN ADDITION TO THOSE SHOWN ON THE LANDSCAPE PLAN BASED ON ACTUAL FIELD CONDITIONS.
- THE SIZE OF THE PLANTING AREA AND OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A TWO AND ONE-HALF FEET WIDE BUMPER OVERHANG MEASURED FROM THE BACK OF CURB.
- ALL ABOVE-GROUND EQUIPMENT ASSOCIATED WITH ON-SITE ELECTRIC, CABLE, TELEPHONE, GAS, OR SIMILAR UTILITY SHALL BE SCREENED, TO THE EXTENT PRACTICAL, WITH EVERGREEN PLANTS. PLANTINGS SHALL ALLOW A MINIMUM OF FIVE FEET OF CLEARANCE AROUND THE STRUCTURE WITH TEN FEET OF CLEARANCE ON ANY SIDE CONTAINING A DOOR ALLOW ACCESS FOR MAINTENANCE. THE CLEARANCES SHALL ACCOUNT FOR THE MATURE SIZE OF THE PLANT MATERIAL.

Public Services • Engineering Division  
**APPROVED DRAINAGE PLAN**  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_  
**Approved Construction Plan**  
 Name \_\_\_\_\_ Date \_\_\_\_\_  
 Planning \_\_\_\_\_  
 Traffic \_\_\_\_\_  
 Fire \_\_\_\_\_

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

**MAYFAIRE SELF DEV.**  
PREPARED FOR  
**CBL PROPERTIES**

WILMINGTON, NC

PROJECT NO: 011455010  
DATE: 10/31/2019  
SCALE: AS SHOWN  
DESIGNED BY: VAO  
DRAWN BY: VAO  
CHECKED BY: DSC

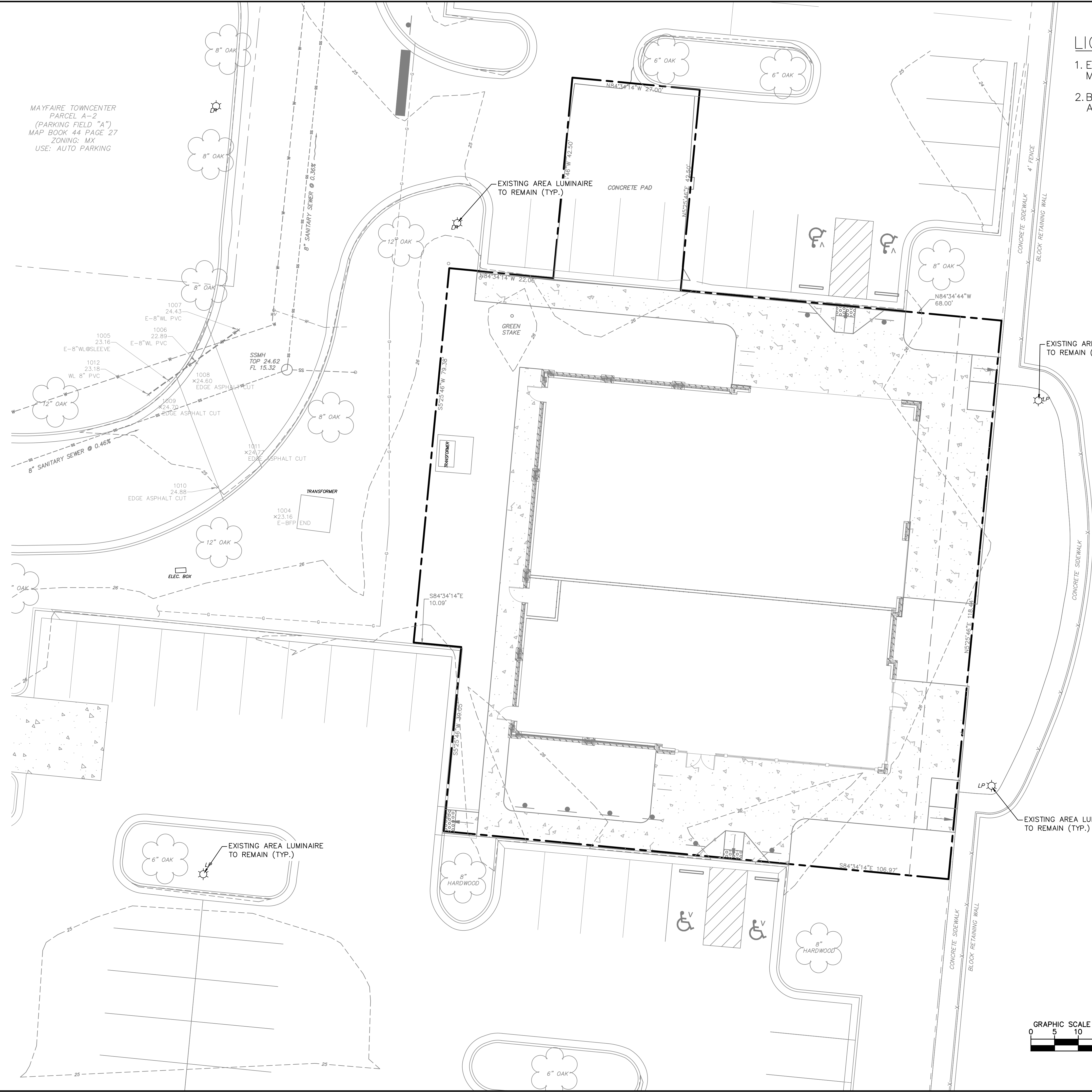
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 REVISED PER FIELD CONDITIONS 01/15/20 DS  
 REVISED PER NCDOT COMMENTS 10/30/19 DS  
 TRC SIGNATURE SET 10/15/19 DS  
 REVISED PER TRC COMMENTS 08/29/19 DS

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#F-0102

REVISIONS  
No. DATE BY

SHEET NUMBER  
**L2.0**

Plotted By: Jackson, Austin Sheet Set: MAYFAIRE SELF DEV. Layout: LT1.0 LIGHTING PLAN March 05, 2020 01:02:10pm K:\REAL\DEV\011455010\_mayfair\_self\_dev\08\_cod\_files\08sheets\LT1.0 LIGHTING PLAN.dwg  
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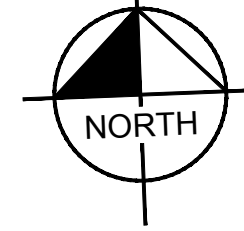
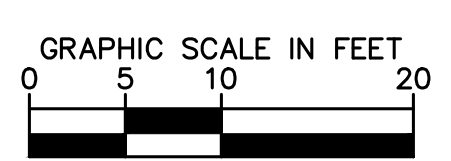


MAYFAIRE TOWNCENTER  
 PARCEL A-2  
 (PARKING FIELD "A")  
 MAP BOOK 44 PAGE 27  
 ZONING: MX  
 USE: AUTO PARKING

MAYFAIRE TOWNCENTER  
 LIMITED COMMON AREA "D"  
 MAP BOOK 44 PAGE 27  
 ZONING: MX  
 USE: STORMWATER POND

**LIGHTING PLAN NOTES:**

1. EXISTING LIGHTING AND PHOTOMETRICS TO BE MAINTAINED
2. BUILDING LIGHTING TO LIGHT PLAZA, ENTRIES, AND SIDEWALKS ADJACENT TO BUILDING



**CITY OF WILMINGTON**  
 NORTH CAROLINA  
 Public Services • Engineering Division  
 APPROVED DRAINAGE PLAN  
 Date: \_\_\_\_\_ Permit # \_\_\_\_\_  
 Signed: \_\_\_\_\_

Approved Construction Plan

Name	Date
Planning _____	
Traffic _____	
Fire _____	

LIMITS OF DISTURBANCE: 0.45 ACRES  
 EXISTING INFORMATION SHOWN TAKEN FROM TOPOGRAPHIC SURVEY TITLED: "TOPOGRAPHIC SURVEY OF 1035 INTERNATIONAL DRIVE" DATED MAY 22, 2019 PROVIDED BY GSC SURVEYING OF 4070 BARRETT DRIVE, RALEIGH, NC 27609.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF WILMINGTON AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

No.	REVISIONS	DATE
5	REVISED PER OWNER REQUEST	03/06/20 JAL
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3	REVISED PER NCDOT COMMENTS	10/30/19 DS
2	TRC SIGNATURE SET	10/15/19 DS
1	REVISED PER TRC COMMENTS	08/29/19 DS

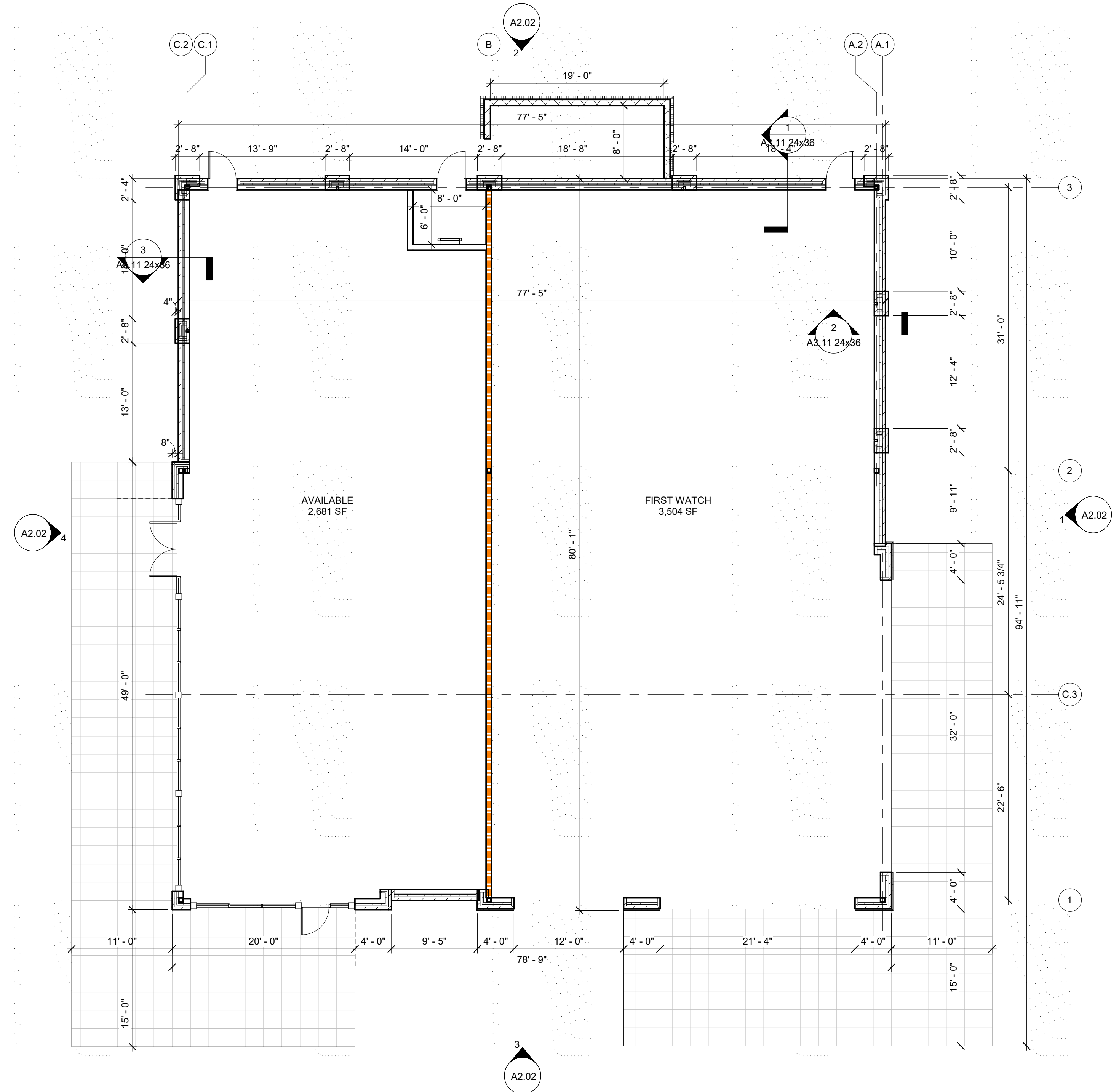
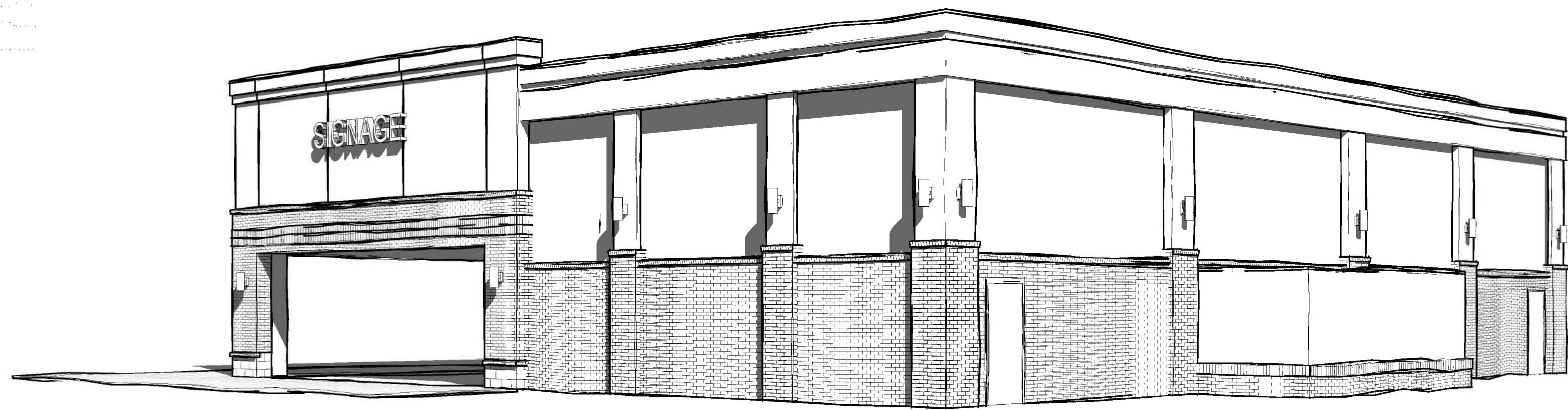
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 #F-0102

KHA PROJECT	011455010
DATE	10/31/2019
SCALE	AS SHOWN
DESIGNED BY	DS
DRAWN BY	JWH
CHECKED BY	WJB

**LIGHTING PLAN**

**MAYFAIRE SELF DEV.**  
 PREPARED FOR  
**CBL PROPERTIES**  
 WILMINGTON NC

SHEET NUMBER  
**LT1.0**



**MAYFAIRE RETAIL**  
WILMINGTON, NC

**CONCEPT 1 SD1**

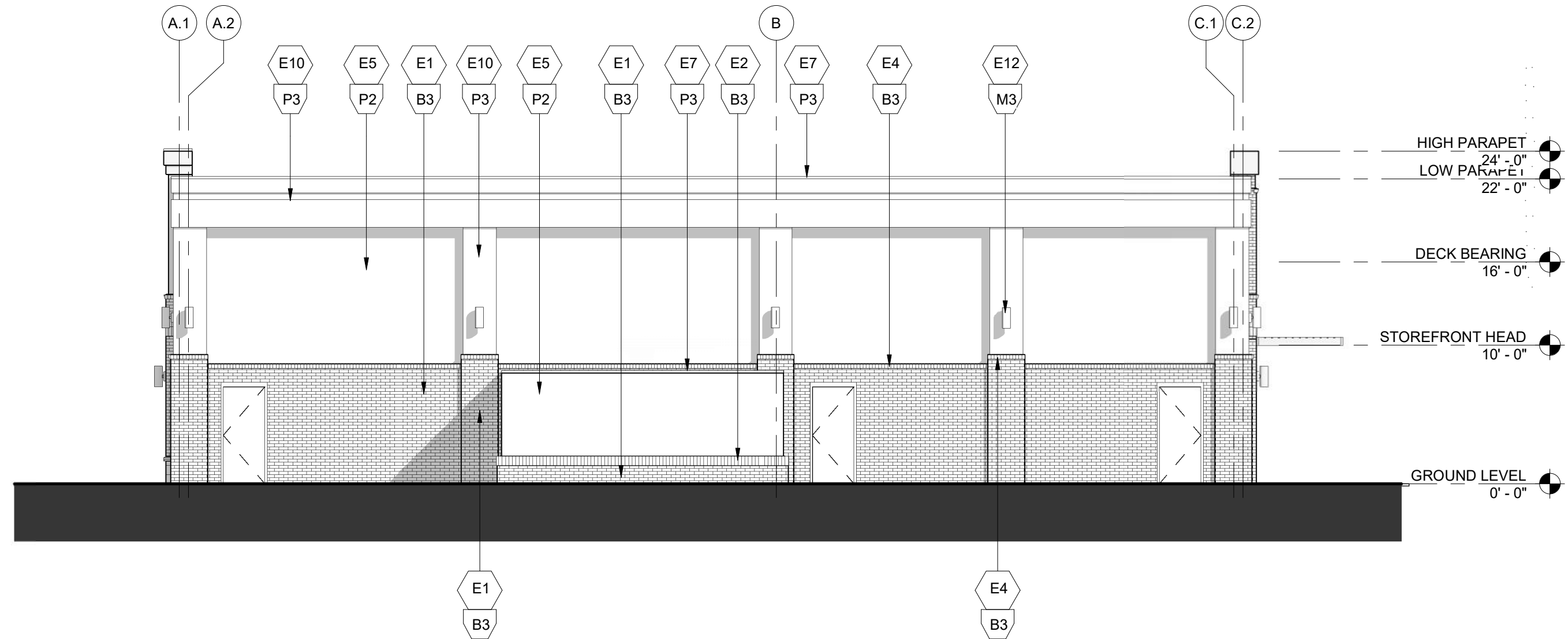
1/8" = 1'-0"

018152 | 06.28.2019

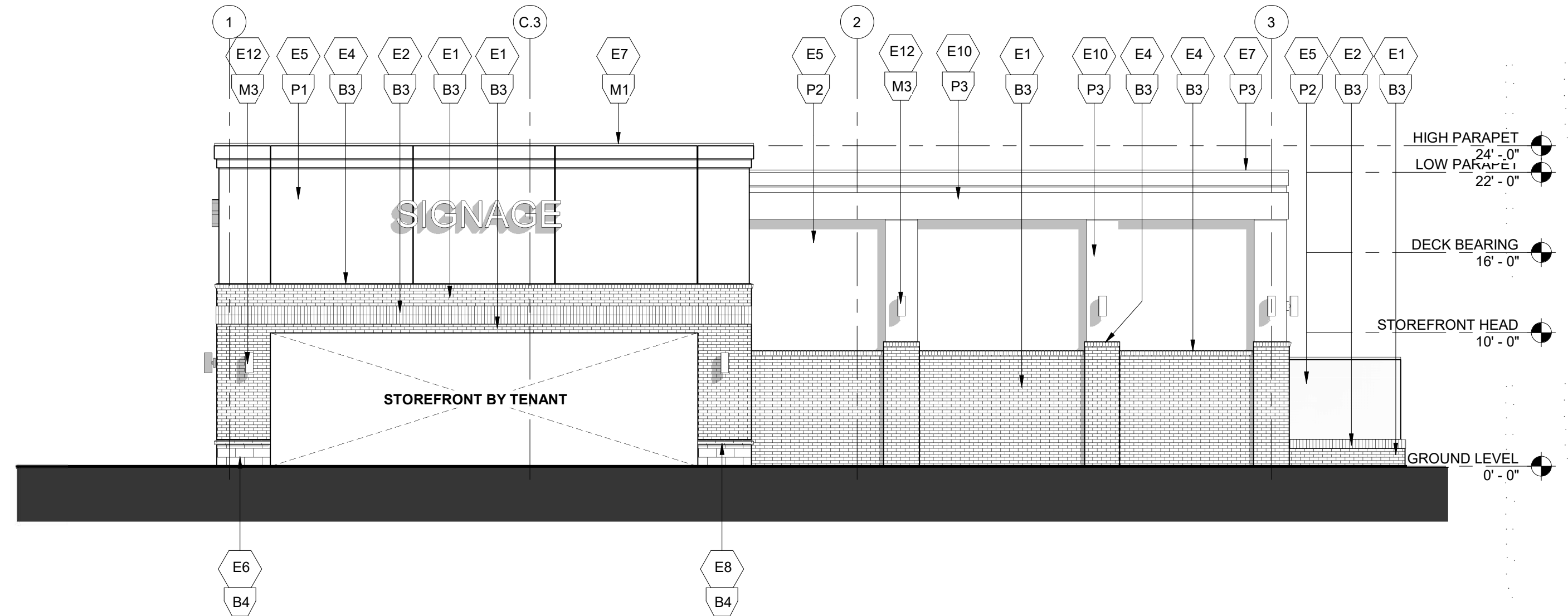
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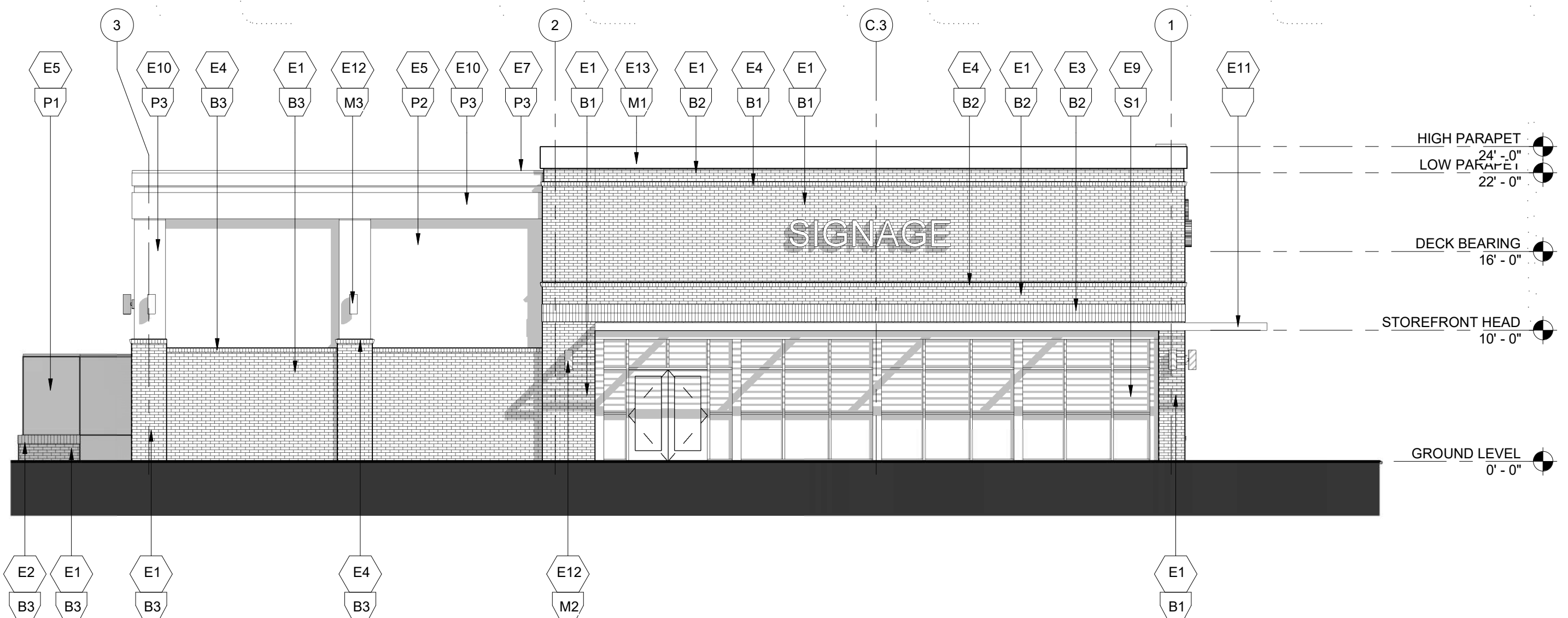
KEYED NOTES		FINISH NOTES	
E1	BRICK - RUNNING BOND	MASONRY	MORTAR COLOR: STANDARD GREY TONE - MATCH EXISTING SCHEME
E2	BRICK - SINGLE SOLDIER COURSE	B1	BELDEN PINK - CAROLINA ROSE
E3	BRICK - DOUBLE SOLDIER COURSE	B2	BELDEN CREAM - 481-483 VELOUR
E4	BRICK - ROWLOCK	B3	BELDEN BROWN - CLARET VELOUR
E5	EIFS	B4	STONE - LIGHT TAN SMOOTH
E6	ARCHITECTURAL BLOCK	STOREFRONT	
E7	METAL COPING	S1	CLEAR ANODIZED
E8	STONE ROWLOCK STRETCHER COURSING	EIFS COLORS	
E9	NEW STOREFRONT - COORDINATE FINAL LAYOUT WITH TENANT	P1	TAN - STO #16024
E10	EIFS SHAPED CORNICE	P2	COOL GREY - STO #16292
E11	LOUVERED CANOPY PER STOREFRONT MANUFACTURER	P3	LIGHT WARM GREY - STO #16271
E12	WALL MOUNT INDIRECT/DIRECT LIGHT FIXTURE	METAL	
E13	FULL METAL CAP	M1	COLOR TO MATCH P1 (TAN)
		M2	FINISH TO MATCH CLEAR ANODIZED
		M3	FINISH TO BE DARK CHARCOAL



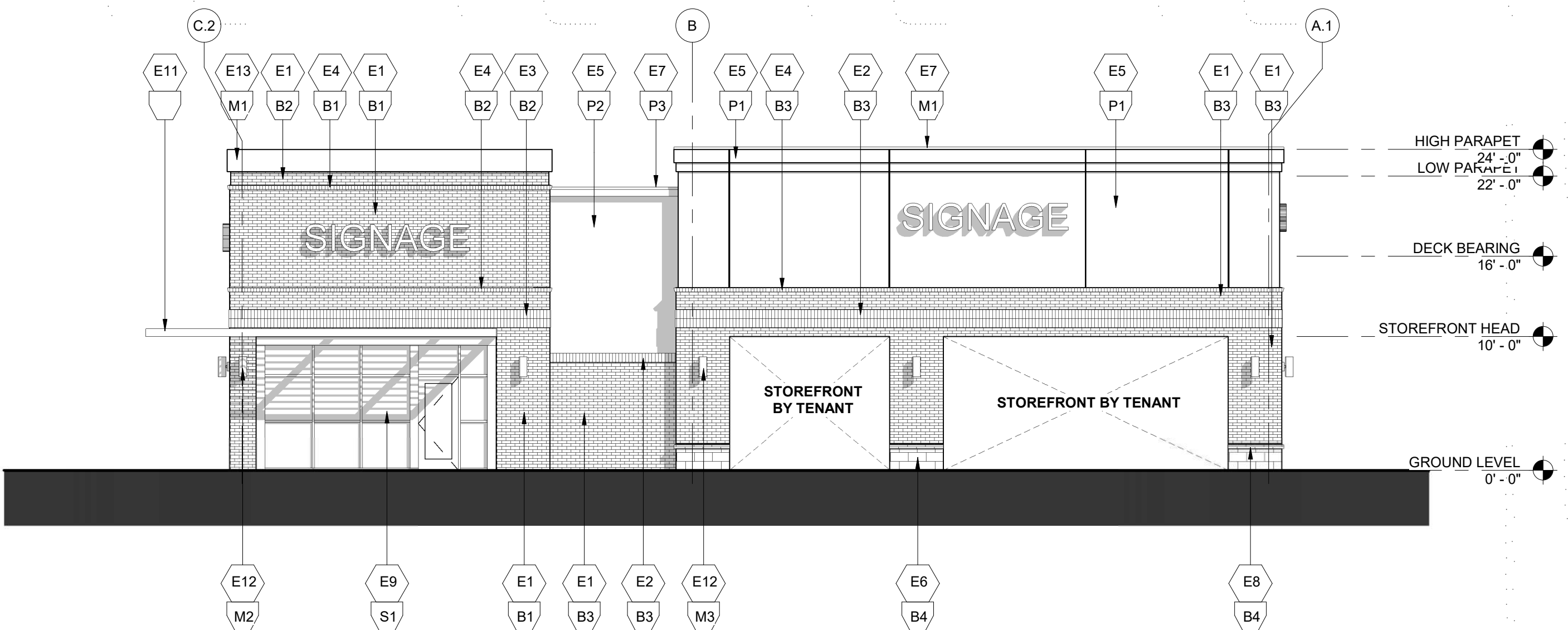
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1/8" = 1'-0"



**EAST ELEVATION** 2  
1/8" = 1'-0"



**WEST ELEVATION** 3  
1/8" = 1'-0"



**SOUTH ELEVATION** 1  
1/8" = 1'-0"

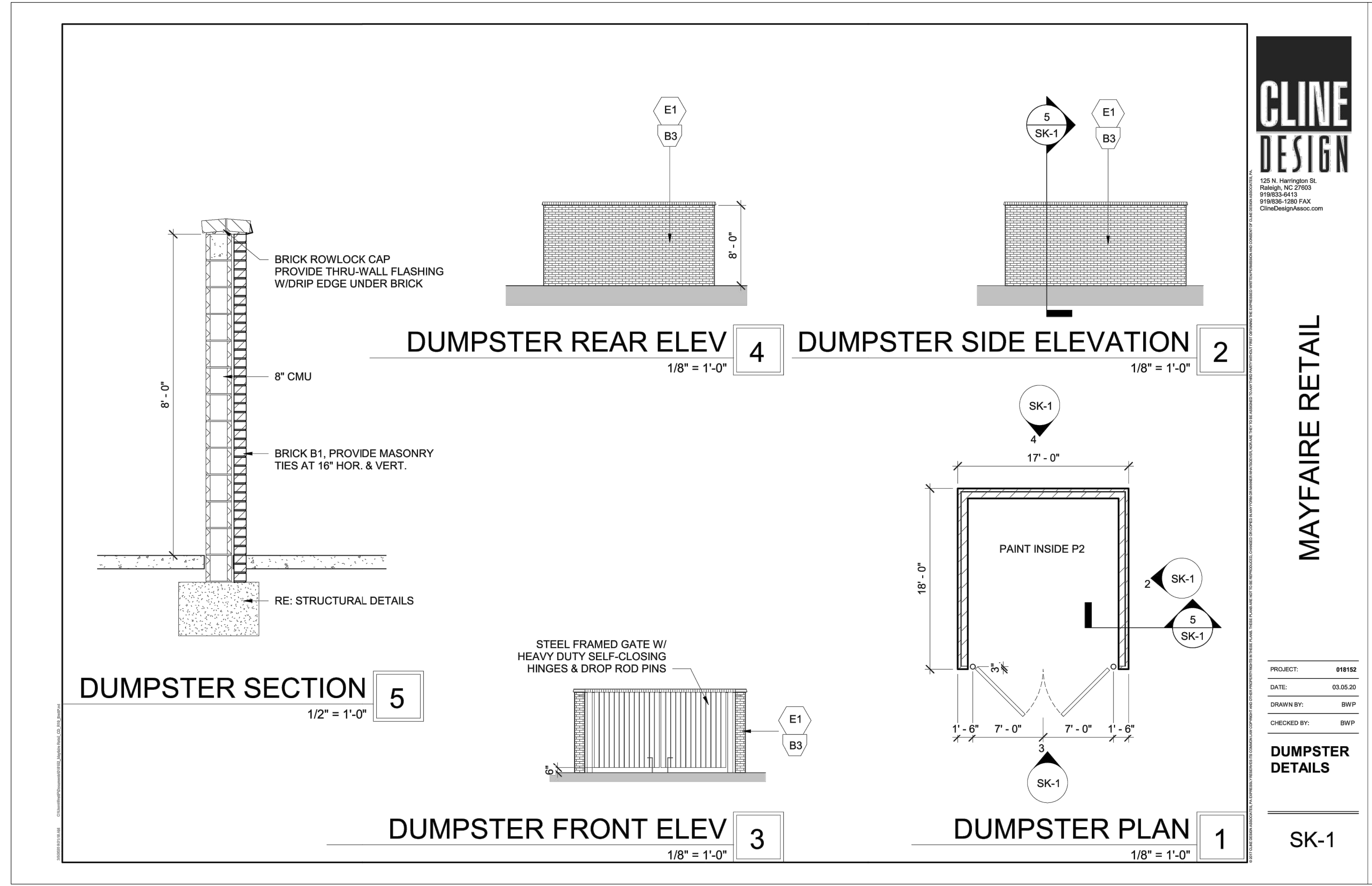


**MAYFAIRE RETAIL**  
WILMINGTON, NC

**CONCEPT 1 SD2**

As indicated 018152 | 06.28.2019  
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Plotted By: Jackson, Austin Sheet Set: MAYFAIRE SELF DEV. Layout: SK-1 DUMPSTER DETAILS March 06, 2020 11:24:53am K:\RAL\UDEA\011455010\_mayfair\_self\_dev\08\_cad\_files\plansheets\SK-1 DUMPSTER DETAILS.dwg  
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3	REVISED PER NCDCEQ COMMENTS	10/30/19	DS
2	TRC SIGNATURE SET	10/15/19	DS
1	REVISED PER TRC COMMENTS	08/29/19	DS

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 #F-0102

KHA PROJECT	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
011455010	10/31/2019	AS SHOWN	DS	JWH	WJB

**DUMPSTER DETAILS**

MAYFAIRE SELF DEV.  
 PREPARED FOR  
 CBL PROPERTIES

WILMINGTON NC

SHEET NUMBER  
**SK-1**